

PHASE 2 HISTORIC SITES/STRUCTURES REPORT

for

**2019 PLAZA BONITA, SANTA BARBARA, CALIFORNIA
(APN 025-343-002)**

Prepared for

Neil and Leigh Myers

Prepared by

**POST/HAZELTINE ASSOCIATES
2607 Orella Street
Santa Barbara, CA 93105
(805) 682-5751
(e-mail: posthazelline@cox.net)**

January 17, 2017

TABLE OF CONTENTS

Section	Page
1.0 INTRODUCTION	1
2.0 PROJECT DESCRIPTION	2
3.0 PREVIOUS STUDIES AND SIGNIFICANCE FINDING	2
3.1 Proposed Plaza Bonita Historic District.....	3
4.0 DOCUMENTS REVIEW	4
5.0 SITE HISTORY	5
5.1 History of the Property at 2019 Plaza Bonita (1927-1932).....	5
5.2 Margaret K. Andrews (1869-1932)	9
5.3 History of the Property at 2019 Plaza Bonita (1932-2016).....	10
5.4 The Spanish Colonial Revival Style	10
5.5 The Architectural Firm of Edwards and Plunkett	11
6.0 SITE DESCRIPTION	12
6.1 House	12
7.0 EVALUATION AND ANALYSIS	26
7.1 Re-Evaluation of Integrity	26
7.2 Project Thresholds	28
7.3 Work Plan.....	31
7.4 Analysis of the Proposed Project.....	33
7.5 Evaluation of Cumulative Impacts to Significant Historic Resources.....	41
8.0 SUMMARY AND CONCLUSIONS	42
9.0 REFERENCES	43
APPENDIX A (Architect's Plans)	
APPENDIX B (Edwards, Plunkett and Howell Plans)	

1.0 INTRODUCTION AND REGULATORY SETTING

This Phase 2 Historic Resources Report, for the property at 2019 Plaza Bonita, California (APN 025-343-002), was prepared for Neil and Leigh Myers (Figures 1 – 3). The purpose of this study is to evaluate the effect of a proposed project on a building that has previously been determined to be a significant historic resource for the purposes of environmental review. The California Environmental Quality Act (CEQA) guidelines state that proposed projects are to be analyzed to determine potential effects to historic resources. HR1 of the 2012 Historic Resources Element of the Santa Barbara General Plan provides for the protection of cultural and historic resources. Guidelines for determining the historical significance of a property are outlined in the City of Santa Barbara Master Environmental Assessment (MEA) (City of Santa Barbara MEA: *Guidelines for Archaeological Resources and Historic Structures and Sites Reports*) (January 2002). Prepared by Post/Hazeltine Associates, this Phase 2 HSSR follows the guidelines for historic property studies set forth in the City of Santa Barbara MEA. The study will evaluate the effect of the proposed project on the property's significant historic resource. This Phase 2 HSSR was prepared by Pamela Post, Ph.D., primary author and Timothy Hazeltine of Post/Hazeltine Associates.

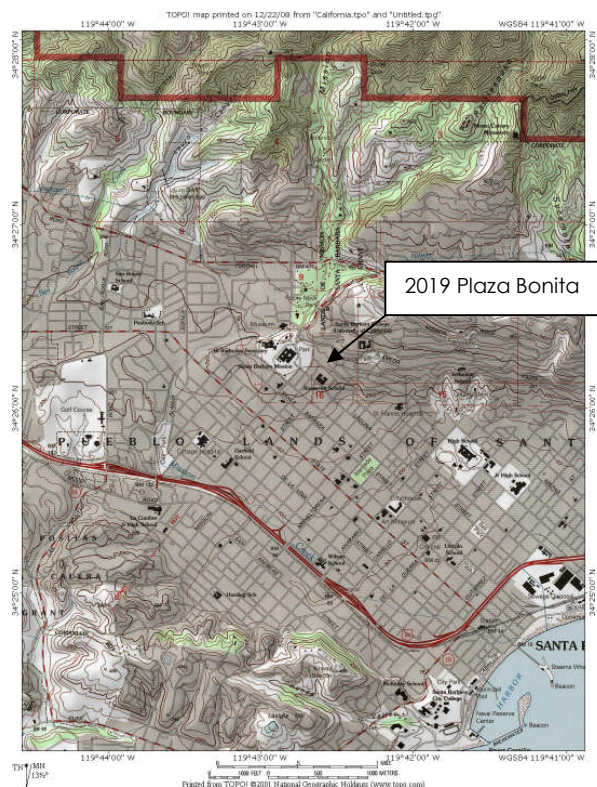


Figure 1, Location Map

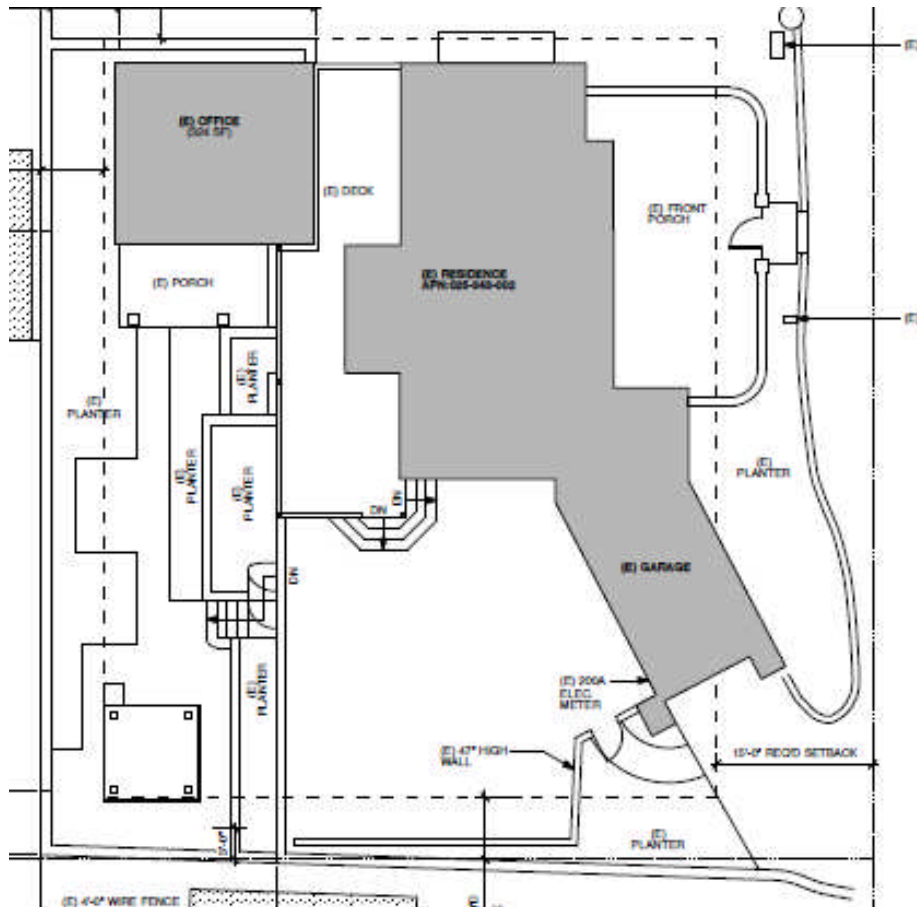


Figure 2, Existing Site Plane
(Sherry & Associates)

2.0 PROJECT DESCRIPTION

Existing improvements on the property include a two-story house with its attached one-car garage and a detached studio building. The applicant proposes minor alterations to the house and its attached garage, the construction of a small building in the rear yard, alterations to an existing detached office/art studio and changes to the designed landscape. The architect of record for the project is Dawn Sherry (Appendix A).

3.0 PREVIOUS STUDIES AND SIGNIFICANCE FINDING

In 1927 the house was moved to its current location. Originally built as a board-and-batten-sided barn, it was remodeled as a residence in the Spanish Colonial Revival style to a design provide by the architectural firm of Edwards, Plunkett & Howell (see Appendix B). In 2004 the property at 2019 Plaza Bonita was surveyed during the Phase 1 of the Lower Riviera Survey by Post/Hazeltine Associates. The survey determined that the house retained its integrity of design and materials and was eligible for listing as a contributing property to the proposed Plaza

Bonita Historic District under Criteria A and D for its association with broad themes of local history and its architecture, which exemplifies the regional interpretation of the Spanish Colonial Revival subtype of the Period Revival (Post/Hazeltine Associates 2004) (Appendix B). As a contributing resource to the proposed Plaza Bonita Historic District, the property at 2019 Plaza Bonita is a significant historic resource for the purposes of environmental review.

3.1 Proposed Plaza Bonita Historic District

The following description of the Proposed Plaza Bonita Historic District was prepared by the City of Santa Barbara:

The Plaza Bonita Historic District is located within the City's Lower Riviera neighborhood. As a residential neighborhood the characteristic development pattern of the district is residential housing, primarily single-family in type. Commercial and residential development is found on Alameda Padre Serra which is the location of the Riviera Business Park (former State Normal School), the El Encanto Hotel and Santa Barbara Middle School (former Jefferson Elementary School). Located southeast of Mission Santa Barbara, the proposed Plaza Bonita Historic District has retained almost all of its residential buildings dating to the period of significance (circa-1920-1940), as well as the historic pattern of streets and sidewalks that developed between the 1870s and the mid-to-late 1920s, major institutional development such as Mission Santa Barbara, the former St. Anthony's Seminary (now Garden Street Academy), Roosevelt School and Mission Park are located close by. The natural setting of steeply sloping hillsides with rocky outcrops and stands of native oaks trees that characterized Mission Ridge and its hillsides before the last quarter of the 19th century have been developed with single family houses set on densely landscaped lots. The historic development pattern has been retained still exists around the proposed Plaza Bonita Historic District. Because the proposed Plaza Bonita District and its setting have retained their historic development pattern the proposed district and its surroundings have retained their visual coherence. Therefore, the visual coherence and setting of the proposed Plaza Bonita Historic District retains integrity for its period of significance (circa-1920-1940).

Visual Characteristics of the Built Environment and Natural Setting

The built environment of the proposed Plaza Bonita Historic District is characterized by single-family houses built in various iterations of the Period Revival style, including Spanish Colonial Revival (610 Bonita Way, 2001 Grand Avenue, 2011 Grand Avenue, 2018 Grand Avenue, 2024 Grand Avenue, and 2019 Plaza Bonita); Monterey Revival (2025 Plaza Bonita), Tudor Revival (2109 Alameda Padre Serra); Craftsman (2001 Grand Avenue) and vernacular type (2102 Grand Avenue). This range of architectural motifs is representative of the architectural styles found in the surrounding neighborhood, which developed between the 1880s and the present (2011). While representing a diverse range

of styles the houses are linked by common residential pattern, namely the development of the area as a neighborhood of primarily single-family middle and upper middle class housing. Plaza Bonita has the special characteristic of being centered on a fountain set in a small plaza with extensive sandstone retaining walls, steps and curbs. This building pattern continues to characterize the area. The setting of the district is defined by the large scale geological features, such as Mission Ridge to the east, the mouth of Mission Canyon to the north and significant public spaces, such as Mission Park with its lawns, rose garden and remnants of Mission Santa Barbara's outbuildings and extensive waterworks system. The iconic façade of Mission Santa Barbara's church and convent, located north of Mission Park, have formed an iconic visual feature of the neighborhood and city since the late 18th century. On the east side of the proposed district, Alameda Padre Serra, with its concentration of Period Revival houses, and early 20th century institutional buildings, such as the former State Normal School and Jefferson School, the El Encanto Hotel, as well as Orpet and Hillside parks, also contribute to the visual character of the proposed district's setting (City of Santa Barbara and Post/Hazeltine Associates 2004).

4.0 DOCUMENTS REVIEW

The following resources and information sources were consulted during the preparation of this report (Bibliographical resources are listed in Section 9):

City of Santa Barbara:

Street Files for 2019 Plaza Bonita

Planning Files for 2019 Plaza Bonita

Santa Barbara Historical Society, Gledhill Library

Preliminary Sketch of Santa Barbara 1853. Field Notes of Surveyor, 1853. Bancroft Library, University of California, Berkeley (Copy on file at the Santa Barbara Historical

Society, Gledhill Library).

United States Coast Survey Map of Santa Barbara: 1852, 1870 and 1878.

1877 Bird's Eye View of Santa Barbara, California. Drawn and published by E. S. Glover.

C.1887 Bird's Eye View of Santa Barbara. 1898 Bird's Eye View of Santa Barbara.

United States Geological Survey, Santa Barbara County Special Maps: 1903 and 1909 Bird's Eye View of Santa Barbara. *El Pueblo de las Rosas*. Published by E. S. Glover

1917 Map of the City of Santa Barbara

Sanborn Fire Insurance Company Map of Santa Barbara, 1931 (updated to 1960).

Santa Barbara Public Library

Eldon Smith Collection

Santa Barbara City Directories: 1905-1965

5.0 SITE HISTORY

5.1 History of the Property at 2019 Plaza Bonita (1927-1932)

To expand on the brief history of the property outlined in the 2004 survey form further research was completed at the City of Santa Barbara and the Santa Barbara Historical Museum to complete the following overview of the property's history:

The project parcel that comprises the present residential property at 2019 Plaza Bonita continued to remain undeveloped until 1927, when the parcel was purchased by Mrs. Margaret Andrews. At the time, Andrews bought the property, its address was 2019 Grand Avenue (City of Santa Barbara Building Permit, #A-3096, May 5, 1927). In 1927 Andrews (Mrs. Joseph A. Andrews) moved a board-and-batten sided barn to an undeveloped lot she had purchased at 2019 Grand Avenue (current address is 2019 Plaza Bonita) (Figures 3 – 4a). The barn was moved from Lot 7 and relocated to Lot 4, part of Block M of the Las Piedras subdivision (City of Santa Barbara Moving Permit, #A-3073, May 5, 1927) year (Figure 4).

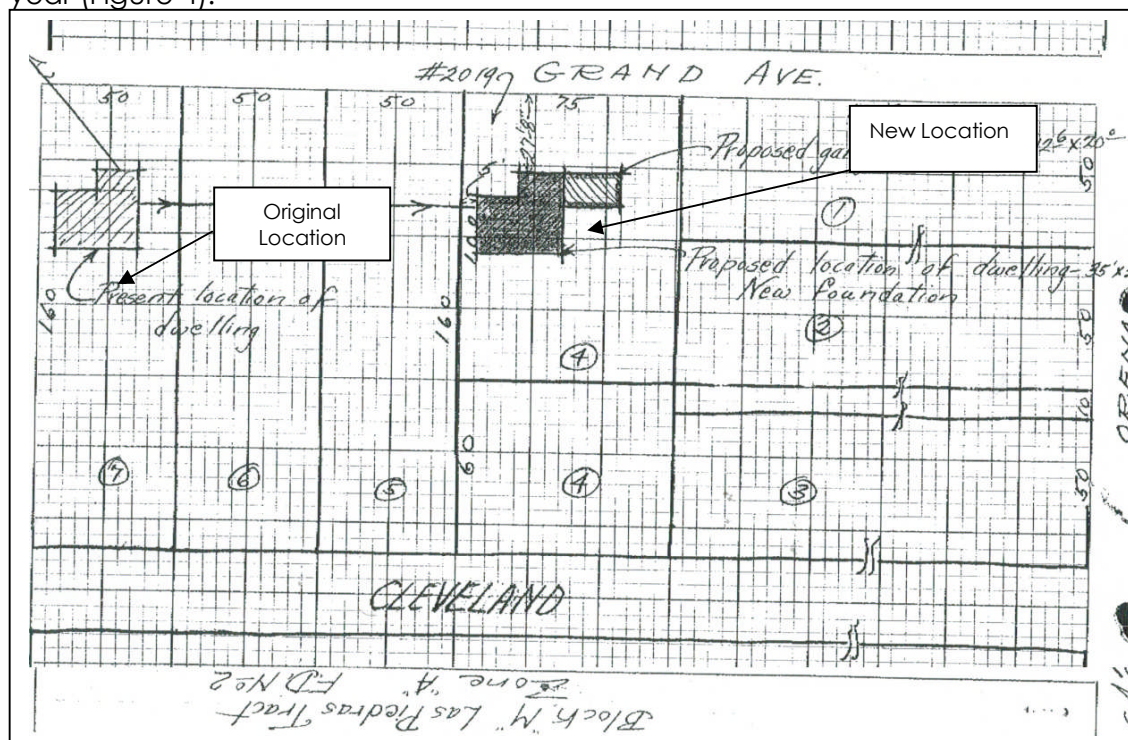


Figure 3, Plot Plan from Permit A3037, May 5, 1927

Once it was moved to its new lot, the 1,503 square-foot barn was placed on a new concrete foundation and redesigned in the Spanish Colonial Revival style by the firm of Edwards and Plunkett (a partial set of architectural plans for the project are archived at the City of Santa Barbara). A comparison of the plans

with the house indicates that the scheme depicted on the drawings does not precisely match the appearance of the house as completed (see Appendix B). Alterations to convert the barn into a house included covering the exterior walls in stucco, altering the roof configuration and covering it in terra cotta tiles, adding fenestration and an attached 12-foot, 6-inch by 20-foot, 6-inch single-car garage off the northeast end of the building. The contractor for the remodeling of the barn was Davidson & Maitland (City of Santa Barbara Building Permit, #A-3096, May 5, 1927 (City of Santa Barbara Building Permit, #A-3096, May 5, 1927). Interior changes included installing a sleeping porch and bathroom on the second floor, installing plastered interior walls and a fireplace in the living room; the fireplace's "quakeproof "chimney was built of brick (City of Santa Barbara Moving Permit, #A-3096, May 5, 1927). At some point, perhaps during construction, the garage was repositioned to align more closely with Bonita Plaza rather than to extend at a right angle off the house's south elevation (Figure 3).

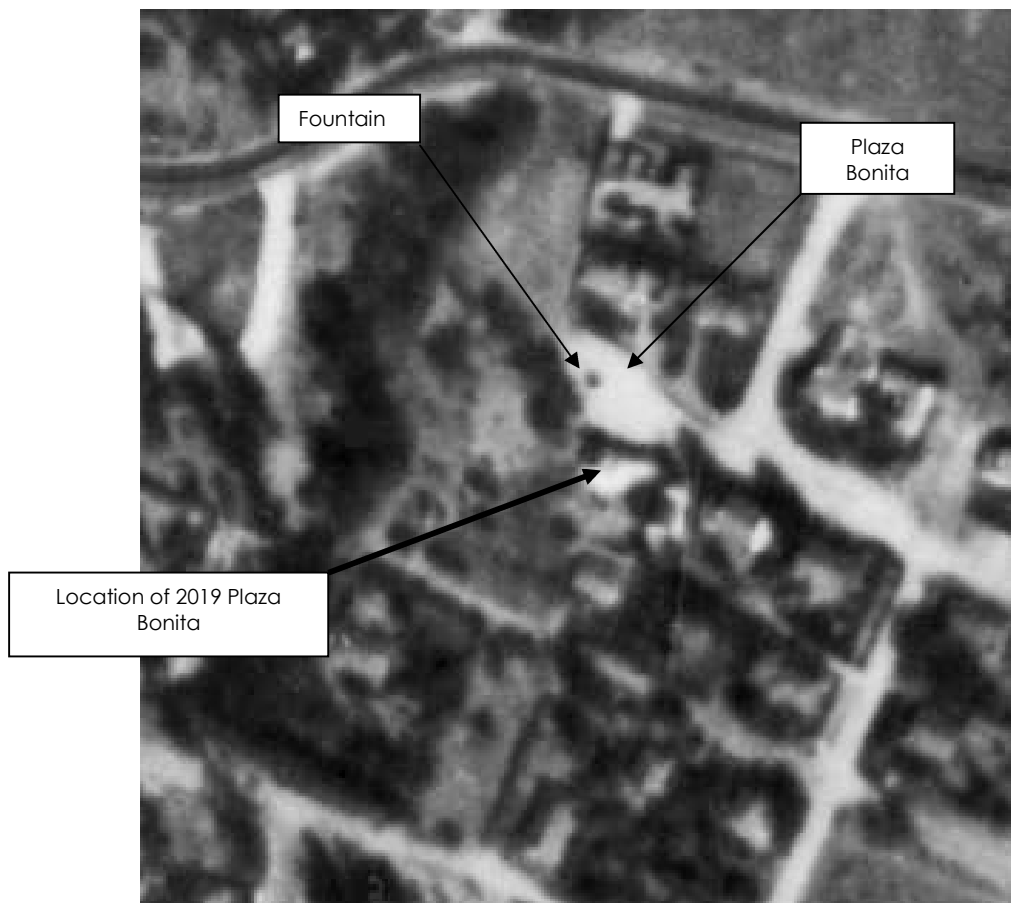


Figure 4, 1928 Aerial Photograph

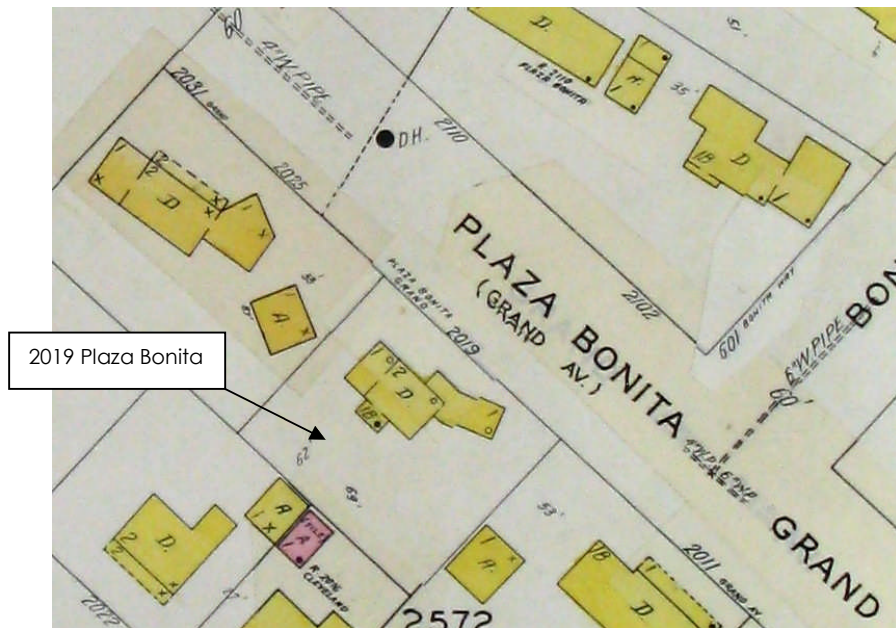


Figure 4a, 1931 Sanborn Map (updated to 1958)



Figure 5, Street Façade (east elevation) of the House at 2019 Plaza Bonita in 2004



Figure 6, Street Façade (east elevation) of the House at 2019 Plaza Bonita in 2016



Figure 7, View from 2019 Plaza Bonita towards the east side of Plaza Bonita

While Margaret Andrews developed the property she apparently never lived there (Margaret Andrews died in 1932, five years after the house had been completed). The first occupant of the house was in 1928.

5.2 Margaret K. Andrews (1869 - 1932)

Margaret K. Andrews was born Margaret Knight on May 23, 1869 in Boston, Massachusetts to parents Cyrus F. Knight and Elizabeth Nichols Knight (California, San Francisco Ara Funeral Home Records, 1895-1985). In 1891 Margaret married Charles Sprague Forsyth (1861-1914). At some point she and Charles moved to Milwaukee, Wisconsin where she gave birth to three children, a son, John, born in 1893, a daughter, Margaret, born in 1896 and a son, William, born in 1903 (Forsyth Family Tree). In 1920 Margaret Forsyth, now a widow, traveled to Santa Barbara for the first time, visiting her sister, Elizabeth Knight, who was living there at the time. By November 1922 Margaret had decided to settle permanently in Santa Barbara. She immediately set about to build a house in the city, hiring the architect, Floyd Brewster, to design plans to construct a ten-room house on a undeveloped lot Margaret had purchased on Mission Ridge Road on the Riviera (Cox & Robert Sweeney, 2015: 132).

In 1924 Margaret Knight Forsyth married Dr. Joseph A. Andrews, an ophthalmologist. Soon after she began acquiring undeveloped property in Santa Barbara, including a tract of land located across the road from Mission Santa Barbara. In 1925 Andrews began to develop the land, subdividing it into multiple lots and naming the project Plaza Rubio after the priest, Jose González Rubio (1804-1875), who played a significant role in the transition of California from Mexican rule to American sovereignty. Margaret hired the architect, Mary Craig, to design seven houses on the undeveloped Plaza Rubio lots; all were completed between 1925 and 1927. It was during this same period that Margaret Andrews began development of Plaza Rubio, including installation of the paving and fountain. Andrews also purchased an undeveloped parcel along Grand Avenue, including lots around what would become Plaza Bonita. In 1927 she moved a barn from one of her lots to what is now the existing property at 2019 Plaza Bonita (see Figures 3 & 4). After it was moved, the barn was converted into a two-story Spanish Colonial Revival style house.

Margret continued to buy and develop property in Santa Barbara, hiring Mary Craig to design an automobile showroom and garage on Carrillo Street for W. C. Logan in 1925 and in that same year building a commercial building, La Hacienda Carrillo on the 00 block of East Carrillo Street (Cox & Robert Sweeney, 2015: 132). By 1930 Margaret was once again widowed and living with her sister, Elizabeth Knight at 1628 Garden Street (1930 United States Census). Margaret Andrews died at the age of 63 of a heart condition in San Francisco on August 16, 1932. Subsequently, Margaret's remains were sent to her sister, Elizabeth, who at the time, was living at 1865 Laguna Street (California, San Francisco Area Funeral Home Records, 1895-1985).

5.3 History of the Property at 2019 Plaza Bonita (1932 – 2016)

By 1942 the property at 2019 Plaza Bonita was owned by Emanuel Jacobsen who retained the property until at least 1977. It was during Jacobsen's occupancy that the master bedroom was enlarged and a master bath and rear balcony was added to the south elevation's second floor sometime before 1958 (*Santa Barbara News Press*, May 21, 2000, n.p.). The one-story shed-roofed addition off the north elevation was built sometime after 1958 as it is not depicted on the Sanborn Fire Insurance Map of that year (see Figure 4a). By 1980 the property had been purchased by Lawrence and Iva Schatz who shortly after sold it to Nancy De L'Abre in 1980. During the time De L'Abre lived in the house she had a wall removed from the second floor's master bedroom to create a "larger L-shaped space." In addition, in 1986, she added a detached, 324 square-foot artist's studio (office) at the rear of the property (City of Santa Barbara Building Permit, October 15, 1986; *Santa Barbara News Press*, May 21, 2000, n.p.) (see Figure 5). A year later De L'Abre received a permit to build a lath house and trellis (City of Santa Barbara Building Permit, 1987). In 1999, the roof's underlayment was replaced and the existing terra cotta tiles were re-installed (City of Santa Barbara BLD1999-02012). In 2003, a 75 square-foot addition was added on the first floor to the existing 1,949 square-foot existing house (City of Santa Barbara MST 2003-00546). De L'Abre owned the property until at least 2003 (1927-1991 City of Santa Barbara City Directories; 1992 - 2003 Haines Directories). Two years later, in 2005, a new front entry courtyard, approved by the Board of Architectural Review, was built with a surrounding stuccoed CMU wall, wrought iron gate, wall fountain and flagstone pavers (City of Santa Barbara BLD 2005-00025) (see Figure 6). Construction of the walled patio resulted in the removal of an existing wall, front steps, and a door into the kitchen. Current owners are Neil and Leigh Myers who purchased the property at 2019 Plaza Bonita in 2015.

5.4 The Spanish Colonial Revival Style

The Period Revival Movement encompassed a diverse range of architectural influences, such as Tudor, French Norman, Spanish, Italian Renaissance, American Colonial, and Hispanic Colonial styles. The Spanish Colonial Revival style is one of a number of Period Revival styles that enjoyed great popularity in the United States during the 1920s and 1930s. In California attempts to develop a regional motif began in the late nineteenth century. Inspired by the remaining examples of Mission period architecture in California and the American Southwest, the Mission Revival style (circa 1895-1915) was an early manifestation of this movement. Among examples of the style, in Santa Barbara, are Crocker Row (1894-95), located on the 2000 block of Garden Street, the Elkhorn Creamery Building at 17-21 West Ortega Street (1905), and the Santa Barbara Railroad Depot (1905).

While the Mission Revival Style achieved some degree of popularity, it never reached any degree of stylistic prominence in California. It was not until Bertram Goodhue designed a scheme for the Panama Pacific Exposition in San Diego (1913-1915) that a new style, based largely on Spanish Colonial and Mexican

antecedents, would gain widespread popularity. Providentially, it was during this time that Santa Barbara and Montecito were experiencing an expansion of their residential neighborhoods. This growth provided opportunities for architects and designers, such as George Washington Smith, Edwards and Plunkett, Roland Sauter, James Osborne Craig, Winsor Soule, Carlton Winslow, and Reginald Johnson, to design buildings in the Spanish Colonial Revival style in the years between the late teens and the late 1930s. Attributes of the Spanish Colonial Revival style include, among others: 1) use of vernacular materials, such as plaster, stucco, wood, and terra cotta; 2) classically inspired ornamental detailing, ranging from the simple to the ornate; 3) the emphasis on broad uninterrupted wall surfaces, punctuated by a careful use of deeply-set openings (fenestration was generally asymmetrical; and 4) an emphasis on the interplay of cubic volume. This interplay was not only picturesque; it emphasized the hierarchical division between the house's utilitarian service areas, and the private and public areas, meant for the use of the family and its guests. The style gained additional impetus in Santa Barbara after 1925, when a devastating earthquake required the construction or repair of hundreds of buildings.

5.5 The Architectural Firm of Edwards, Plunkett & Howell

William Albert Edwards, the eldest of the firm's partners, began his architectural practice in Santa Barbara in 1919. Born in Santa Barbara in 1888, Edwards subsequently attended the University of California, Berkeley, and later transferred to the University of Pennsylvania, where he received a degree in architecture in 1912. Edwards practiced alone for the next six years until June 25, 1925, when he joined with fellow architect, Joseph Plunkett (born in 1900) to form what ultimately would become one of the city's most successful architectural firms. The partnership, formed literally on the day of Santa Barbara's devastating earthquake, received its first commissions for the rebuilding of some of the town's heavily damaged buildings. Talented and ambitious, the firm was influential in helping to shape the city's new architectural style. In conjunction with the city's newly formed Architectural Board of Review and colleagues, such as George Washington Smith, Soule, Murphy & Hastings, and Carleton Winslow, Edwards & Plunkett helped promote the Spanish Colonial Revival style as the most appropriate motif in which to recast the city's newly rebuilt commercial core.

In 1926, a third partner, Henry Howell, joined Edwards and Plunkett to form Edwards, Plunkett and Howell (Howell left the partnership two years later to establish his own private practice). Working out of an office in the Meridian Studios Edwards & Plunkett continued to receive impressive commissions during the building boom of the 1920s and even into the lean Depression years of the 1930s. Among some of their pre-World War II commercial projects were the Fox Arlington Theater, the Copper Coffee Pot, the Santa Barbara Fire Station #3, the Medical Arts building, the Santa Barbara Women's Club, the Salvation Army Rehabilitation Center, the National Guard Armory, and Cold Springs School. Some of their residential designs included, in addition to the Andrews house on

Plaza Bonita, the Plunkett house, the Kittler house, the Rogers house, the Post house, and the McCormick house. These commissions were conceived in the Spanish Colonial Revival style. After America's entry into World War II, Edwards & Plunkett's commissions diminished, as it did for most architectural firms. One of the last of their prewar projects was the completion of the Santa Barbara Airport Terminal Building, in 1941. A few years later William Edwards and Joseph Plunkett dissolved their partnership. Subsequently, Edwards took a position with the government in Northern California as a draftsman. After the war, he returned to Santa Barbara and formed the firm of Edwards and Wade. Plunkett died in 1946; Edwards, in 1976.

6.0 SITE DESCRIPTION

The property at 2019 Plaza Bonita is 6,792 square-foot lot located on the south side of Bonita Plaza (see Figures 1 & 2). The parcel is developed with a two-story 1,466 square-foot (per Assessor's records) Spanish Colonial Revival style house with attached one-car garage (Figures 8 & 9) and a detached office/art studio located to the rear of the house (Figure 10). The remainder of the parcel is developed with a Mediterranean style garden defined by sandstone retaining walls, brick and flagstone pathways, a wall fountain and lush plantings (Figure 10).

6.1 House

The house is a two-story wood frame, stucco-clad house capped by a complex roof with gable and shed elements covered in c-shaped terra cotta tiles. The house features almost flush eaves defined by flared moldings. Fenestration is primarily composed of a variety of multi-light, wood sash window set in moderately-deep reveals and multi-light French doors. Attic vents, which are composed of sections of terra cotta pipes, are set in peaks of the house's gable roof elements. The street facade, which faces towards Bonita Plaza, is partially obscured by a walled courtyard built in 2005.

(see next page)

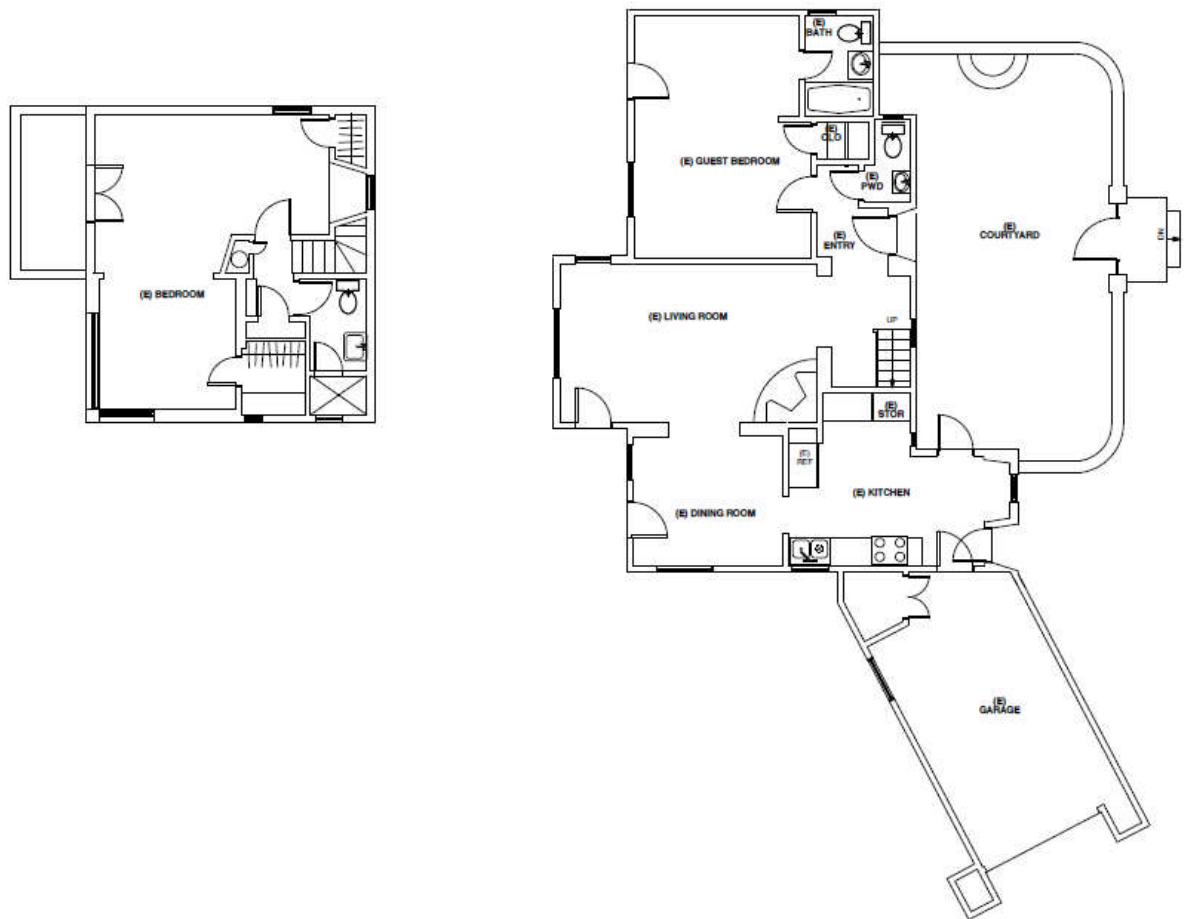


Figure 8, Existing Main Level and Upper Level Plans



Figure 9, East Elevation, looking west (Figure 8)



Figure 10, Detached Office/Studio, looking north

East Elevation

The east elevation has an irregular configuration with the main block of the

house capped by a complex roof with front gable and shed elements (Figures 11-15). This element of the house is flanked on its north by an addition capped by a very shallow shed roof and on its south by the slightly canted garage wing which is capped by a side gable roof. Set in a very deep arched reveal, the rectangular wood panel door is flanked on its south by a multi-light casement window embellished with wood shutters. Another window of the same type, which is flanked by a wood panel door set in a deep arched reveal, is set in the shed-roofed element that flanks the north end of the garage wing. At the south end of the elevation, the base of the garage wall is defined by buttresses.

On the second floor, the fenestration is composed of a six-over-six wood sash window opening onto a decorative faux wrought iron balcony embellished with supports for terra cotta flower pots. The base of the exterior wall is defined by a slightly projecting sill element. The entrance courtyard (built in 2005), which is paved in red brick set in a basket weave pattern, is defined by an approximately six-foot tall stucco-clad wall embellished with grilles composed of sections of terra cotta roof tiles. The gateway is defined by piers embellished with glazed metal lanterns. The top of the courtyard's walls is capped by flat terra cotta tiles. Fenestration within the courtyard is composed of a ten-light French door and a pierced masonry grille.

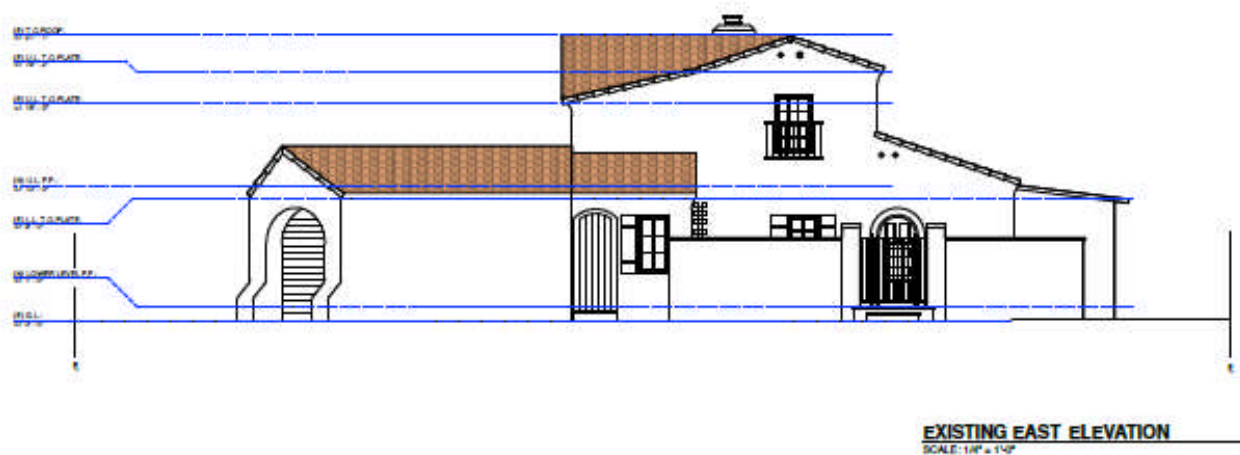


Figure 11, Existing East Elevation



Figure 12, East Elevation, Detail of Entry Door, looking west



Figure 13, Entry patio, looking south



Figure 14, Entry patio, looking north



Figure 15, West End of the East Elevation, looking west

West Elevation (rear elevation)

Facing into the rear yard, the south elevation is composed of the two-story house flanked on its east by the slightly canted one-story garage wing (Figures 16 – 20). The two-story wing is capped by a side gable roof with a secondary front-facing gable element set near the north end of the elevation. The first floor features a shallow, flat roof projection capped by a second-floor terrace. Part of the elevation's first floor is sheltered beneath a porch with a pergola style roof set on raised terrace surrounded by stucco-clad parapets. On the first floor, fenestration is composed of multi-light wood frame windows, one of which is arched and multi-light French doors opening onto the terrace. On the second floor, fenestration is composed of a pair of multi-light French doors opening out onto the second-floor terrace and a glazed sleeping porch at the south end of the elevation. The former sleeping porch features single-light windows set behind wood posts supporting the southwest corner of the roof; these porch posts area capped by decorative wood impost blocks. The fenestration of the garage wing is composed of a large three-light window. The fenestration of the shed-roofed wing at the north end of the elevation is composed a three-part metal frame window with faux divided lights (see Figure 20).

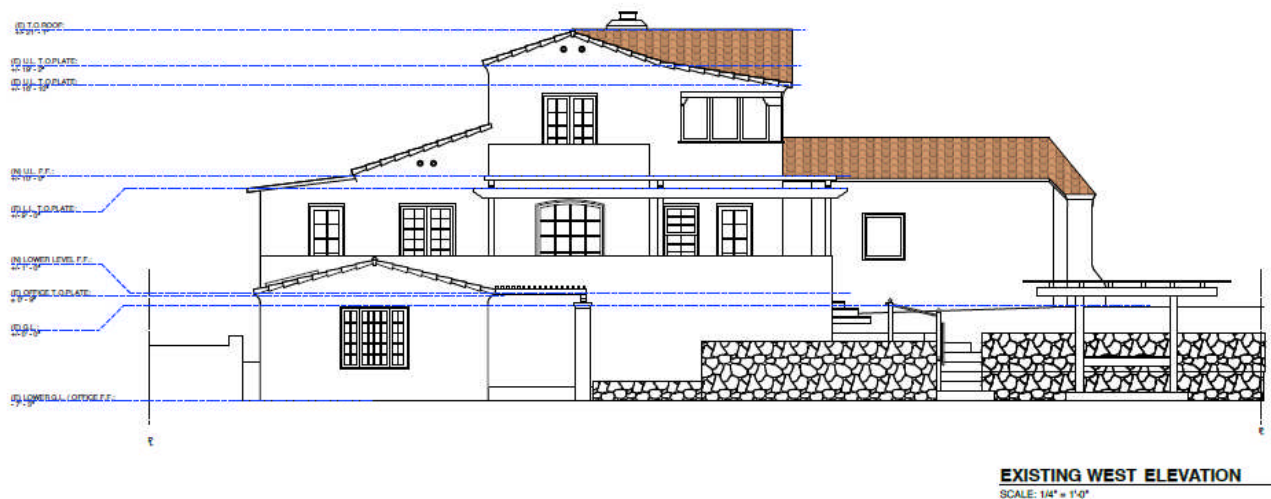


Figure 16, Existing West Elevation



Figure 17, South Elevation, Looking northeast



Figure 18, Detail of first floor terrace off West Elevation, looking north



Figure 19, Detail of first floor terrace off West Elevation, looking south

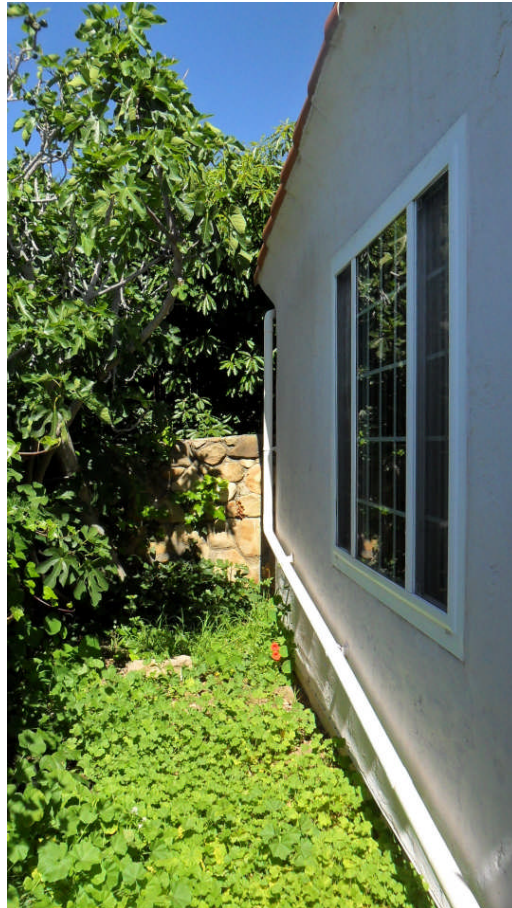


Figure 20, Detail of First Floor Window at North End of West Elevation, looking north

North Elevation

Facing towards a narrow side yard defined by a low sandstone retaining wall the north elevation is composed of a shed-roofed addition constructed sometime after 1958. The main block of the house is composed of a one-story shed roof element covered in terra cotta roof tiles which projects off the elevation's two-story element, which is capped by a side gable roof covered in terra cotta tiles. The first-floor fenestration is composed of one-light window; on the second-floor fenestration is composed of a pair of four-light wood casements flanked by decorative shutters. At the far eastern end of the elevation is a multi-light wood casement window (see Figure 15). This elevation could not be photographed as it abuts dense plantings and a sandstone retaining wall (Figure 20).

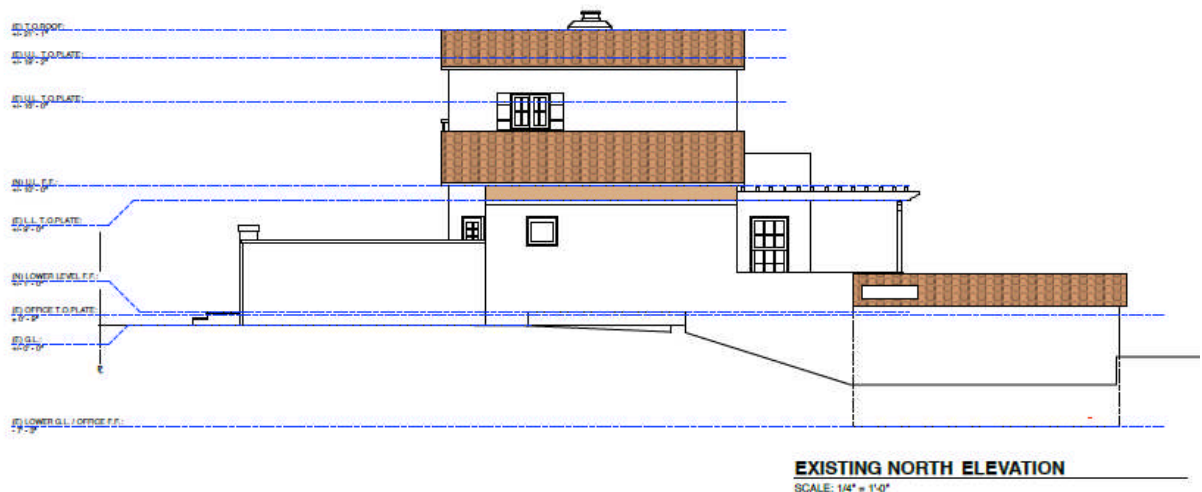


Figure 21, Existing North Elevation

South Elevation

The south elevation is L-shaped in configuration with the single-car garage wing canted off the southeast corner of the two-story house (Figures 21 – 23 and see Figure 17). The south elevation of the garage features a front gable with shallow eaves and a centrally-placed arched bay covered by a roll-up metal garage door that is flanked on either side by prominent buttresses. The first floor of the elevation's two-story element features double, multi-light French doors and a paired, multi-light wood casement window. On the second-floor fenestration is composed of a louvered wood frame window with decorative shutters flanked on its west by a small four-light wood casement window. At the west end of the second floor is the glazed (former) sleeping porch.



Figure 22, Existing South Elevation



Figure 23, South Elevation, Garage Wing, looking northwest



Figure 24, East End of the South Elevation, looking northeast



Figure 25, West End of the South Elevation, looking north

Detached Office/Art Studio

The existing detached one-story office/art studio was built in 1986. It is a one-room, one-story wood frame, stucco-clad building in the Mediterranean style. The walls are stucco-clad. On the south elevation multi-light French doors open out onto a patio sheltered beneath a wood pergola (see Figures, 2, 10 & 22).

Designed Landscape

The designed landscape is Mediterranean in theme with sandstone retaining walls, terra cotta and brick paving and planting of exotics such as a large Jacaranda tree, fig tree, citrus, Bouganvillea, agaves, draceanas, angel trumpets, succulants and smaller specimen plants (Figures 26 - 29). A low, plastered boundary wall embellished with glazed Mexican tiles and a small ground level water feature extends along part of the length of the south property line. The front yard is defined by the wall courtyard and plantings of exotics that extend along the garage's east elevation, with a sandstone curb delineating the boundary of the adjacent plaza. The short driveway extending from the garage's south elevation features the same patterned concrete imitating randomly set flagstone pavers as Bonita Plaza. The rear garden is divided into number of levels by retaining walls of roughly shaped sandstone. At the base of the garden's lower level is a wood pergola of recent vintage. Paving is primarily composed of red brick, decomposed granite or randomly-placed flagstone pavers set within mulch or soil.



Figure 26, Terrace located off the South End of the Property, looking west



Figure 27, Detail of Wall Fountain on South Property Line, looking south



Figure 28, Terraced Garden and Pergola at Southwest Corner of the Property, looking east

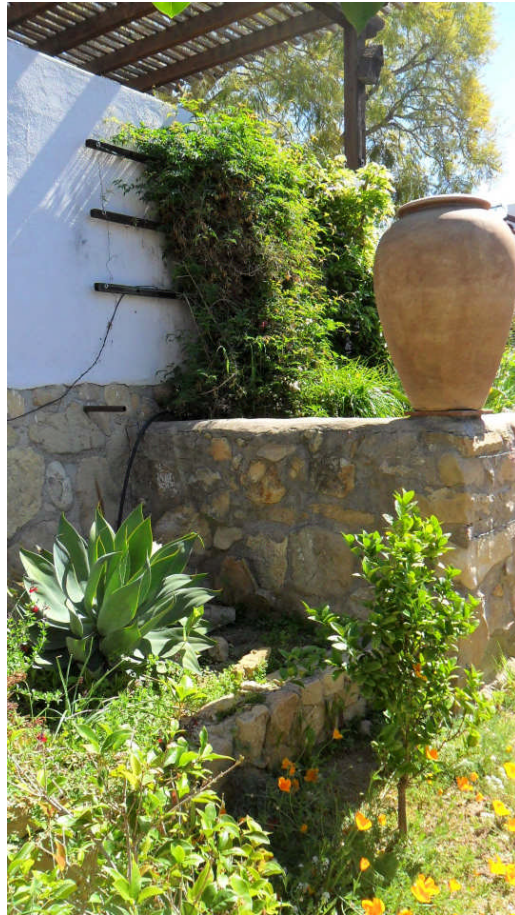


Figure 29, Detail of Retaining Walls off the West Elevation, looking south

7.0 EVALUATION AND ANALYSIS

As summarized in Section 3.0 of this report, the property at 2019 Plaza Bonita is a contributing property to the proposed Plaza Bonita Historic District. Therefore, the property at 2019 Plaza Bonita is a significant resource for the purposes of environmental review. This section of the HSSR will provide a re-evaluation of the resource's integrity because the property was last evaluated more than 10 years ago, before the walled patio was added to the street façade. Once the building's continued eligibility for listing has been determined the report will evaluate the proposed project's impacts on significant historic resources.

7.1 Revaluation of Integrity

The property was last surveyed in 2004. Because 12 years have passed since the last survey, the resource's integrity was re-evaluated to ensure that it continued to possess sufficient integrity to maintain its eligibility for listing as a contributor to the Potential Plaza Bonita Historic District.

Application of the Integrity Criteria

- The house has remained in place since it was moved to its current property in 1927. Therefore, the property at 2019 Plaza Bonita has maintained its integrity of location.
- Designed in the Spanish Colonial Revival style the house at 2019 Plaza Bonita has retained the majority of its original building materials in good condition since it was altered from a barn to a residence in 1927. Subsequent additions and alterations to the original design have been modest in scale. While the installation of walled patio in 2005 altered the street façade it did not so substantially obscure the building that it cannot continue to convey its Spanish Colonial Revival style architecture or contribute to the historic character of Plaza Bonita (see Figures 5 & 6). Therefore, the house has maintained its integrity of design.
- The 1900 block of Plaza Bonita retains its inventory of historic houses, the majority of which date between circa-1920 and the 1940s, allowing the block to convey the overall character of its historic setting. Therefore, the property has maintained its integrity of setting.
- The house has retained most its character-defining features, including its picturesque massing, stucco siding, terra cotta tiled gabled roof and wood-framed casement windows that are character-defining features of the Spanish Colonial Revival style. Therefore, the house at 2019 Plaza Bonita has maintained its integrity of materials.
- The house has retained almost all of its original building materials in place in good condition and can convey the quality of its Spanish Colonial Revival style architecture. Therefore, the house at 2019 Plaza Bonita has maintained its integrity of workmanship.
- Plaza Bonita is characterized by a concentration of single-family houses many Spanish Colonial Revival style, the majority built between the mid-1920s and the 1940s. Consequently, the study parcel and surrounding streetscape can still convey the essential features of its historic appearance. Therefore, the house on the property at 2019 Plaza Bonita has maintained its integrity of feeling.
- The study parcels and surrounding streetscape can still convey the essential features of its historic appearance and association with the history of Santa Barbara between circa-1920 and the 1940s. Therefore, the house at 2019 Plaza Bonita has maintained its integrity of association.

Summary Statement of Integrity

The property maintains sufficient integrity to maintain its status as a contributing historic

resource to the Potential Plaza Bonita Historic District (the proposed Plaza Bonita Historic District was added to the City of Santa Barbara's Potential list on January 29, 2014). The assessment was written by Pamela Post, Ph.D. (primary author) and Timothy Hazeltine.

7.2 Project Thresholds

This component of the study will assess the potential impacts that may result from the implementation of the proposed project. The City MEA uses State CEQA Guidelines #15064.5 for determining the significance of impacts to historic resources:

An adverse effect is defined as an action that will diminish the integrity of those aspects of the property that make it eligible for listing in a local, State or National register of historic resources. CEQA defines adverse effect in the following manner: A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment (Public Resource Code 15064.5 (b)). Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired (Public Resource Code 15064.5 (b1)).

CEQA defines material impairment of a historic resource as follows:

(A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;

(B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant;

(C) Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. (Public Resources Code 15064.5 (b2)).

(3) Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating Restoring, and Reconstructing Historic Buildings or the Secretary

of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995) shall be considered as mitigated to a level of less than significant.

- (4) A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.*

The following direction for applying mitigation measures is found in Section 2.5 of the *MEA Guidelines for Archaeological Resources and Historic Structures and Sites* (2002: 65 - 70).

These include the following:

- 1) In-situ preservation is the preferred manner of avoiding damage to significant historic resources.*
- 2) Planning construction so that demolition or alteration of structures, sites and natural objects are not required; and*
- 3) Incorporating existing structures, sites and natural objects into planned development whenever avoidance is not possible.*

As noted in the guidelines the appropriateness of potential mitigation measures is dependent on the type of historic resource and its degree of importance. A resource's significance is tied to its level of eligibility for listing at the local, state and national level (MEA 2002: 66-67). The following range of potential mitigation measures are listed in the MEA:

- 1) Rehabilitation without relocation on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 2) Preserving the historic structure on site as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 3) Relocation and preservation of the historic structure on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 4) Relocation and preservation of the historic structure on site for use as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 5) Compatible incorporation of façade only of historic structure into the design of the new building on site (this treatment would not meet the Secretary of the Interior's Guidelines that would apply to this treatment).*
- 6) Advertisements for acquisition and relocation of structures with its subsequent rehabilitation at its new site. The Secretary of the Interior's Guidelines would*

apply to this treatment.

7) Demolition of historic structures with recordation according to the Community Development Department's "Required Documentation Prior to Demolition" standards.

8) Commemoration of the demolished structure with a display of text and photograph within the new building.

9) Commemoration of the demolished structure with a display of text and photograph on the exterior of the new building.

10) Commemoration of the demolished structure with an enclosed display of texts and photographs on the perimeter of the property at the primary entrance.

11) Salvage of significant materials for conservation in an historical display.

Secretary of the Interior's Standards for Rehabilitation:

The following standards developed by the National Park Service to evaluate impacts to historic resources will guide the evaluation of the proposed project:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).

7.3 Work Plan

The work plan focuses on identifying the property's character and non-character-defining features to provide a basis for evaluating the project's impacts to the significant historic resources identified in this report. The evaluation applies the Secretary of the Interior's Standards for Rehabilitation to determine the project's impact on significant historic resources.

Identifying the Property's Significant Historic Resources and their Character Defining and Non-Character-Defining Features

The 2004 Bungalow Haven Survey Report identified the house as the property's single contributor to the proposed Plaza Bonita Historic District. The designed landscape and the detached office/art studio were not identified as contributors to the proposed historic district.

Character-Defining Elements of the House

The following elements of the house **are** character-defining:

- Original footprint of the house excluding the one-story shed-roofed addition of the north elevation;
- Massing and configuration of the original house with its gable and shed-roofed elements covered in terra cotta tiles;
- Remaining original fenestration. This excludes the glazing of the second-floor porch on the west elevation, the louvered glazing on the west elevation's second floor and the French door opening onto the walled patio fronting Plaza Bonita;
- Stucco-clad chimney
- Façade's arched door opening;
- Wrought iron balcony on the east elevation;
- Garage's deeply recessed arched opening and its buttresses; and
- On the west elevation, the enclosed porch's wood posts.

Non-Character-Defining Elements of the House

The following elements of the house **are not** character-defining:

- Walled courtyard on the east elevation;
- Louvered window at the east end of the south elevation's second floor;
- Glazing in the second-floor porch on the west elevation;
- The one-story shed-roofed wing on the north elevation;
- Garage's roll-up metal door; and
- The single French door on the south elevation.

Landscaping and Hardscape

The following elements of the landscaping and hardscape **are** character-defining:

- Driveway's scored concrete paving;
- Sandstone curbing along Plaza Bonita;
- Setback from Plaza Bonita;
- Section of Plaza Bonita's scored concrete paving on the project parcel;
- Terraced sandstone wall supporting the terrace off the west elevation;
- The scalloped stucco-clad wall along the south property line, which appears to be pre-World War II in age; and
- Small semi-circular pool along the south property line.

The following elements of the landscaping and hardscape **are not** character-defining:

- Walled patio off the east elevation;
- Terra cotta paving and steps off the southwest corner of the house (rear yard);
- Pergola off the office/art studio;
- Pergola located near the southwest corner of the parcel;
- None of the plantings, including the Jacaranda tree, appear to date before circa 1956 based on an intersection;
- Existing planting; and
- Existing paving.

7.4 Analysis of the Proposed Project

Proposed Plans:

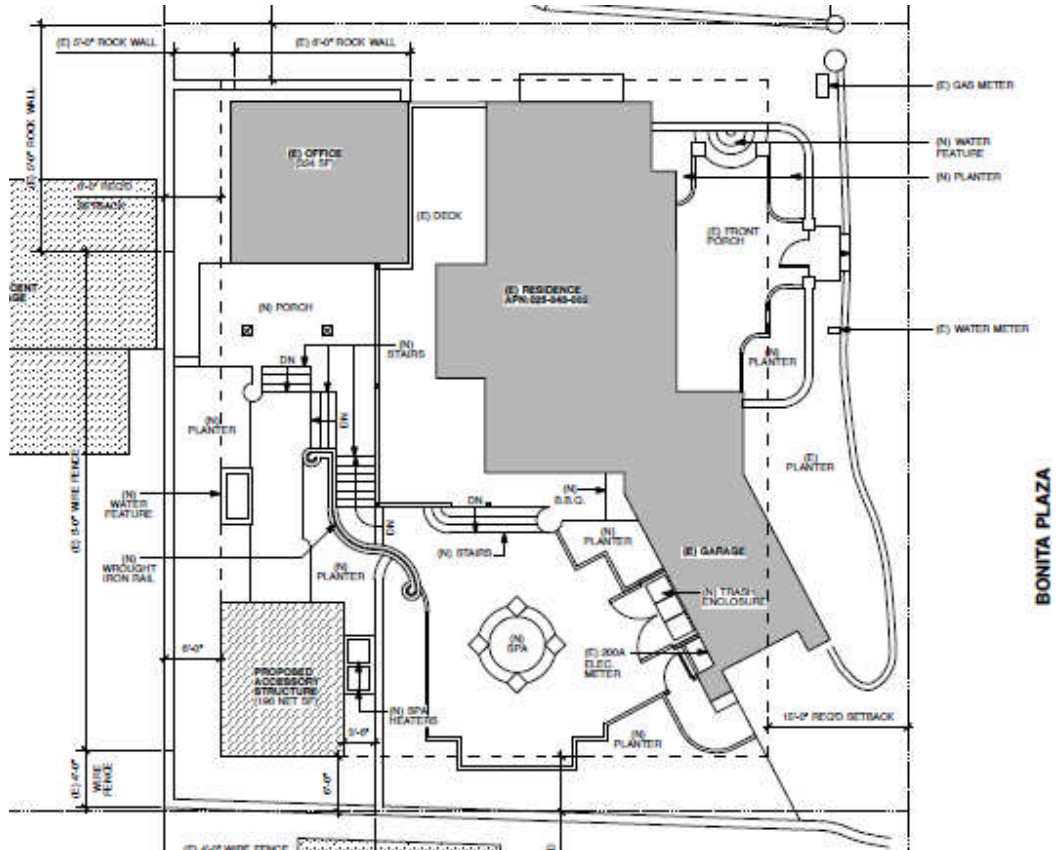


Figure 30, Proposed Site Plan

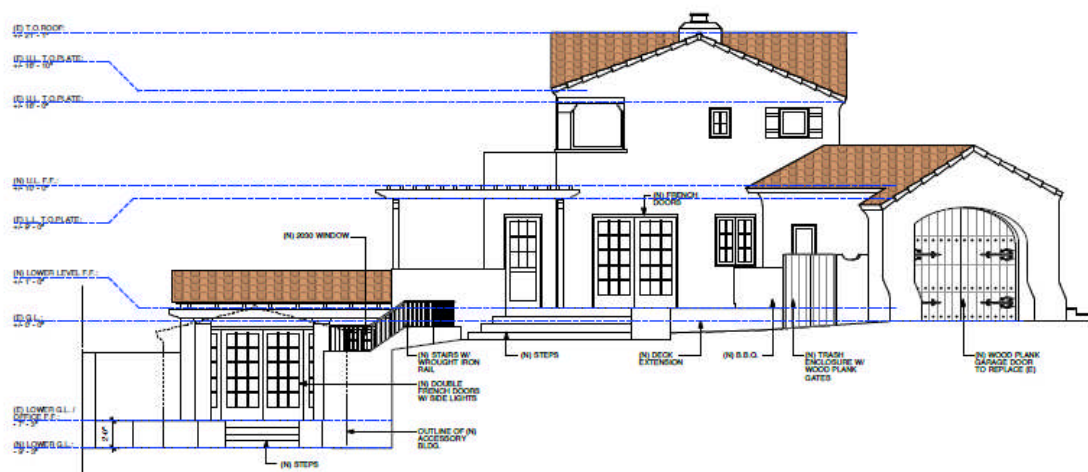
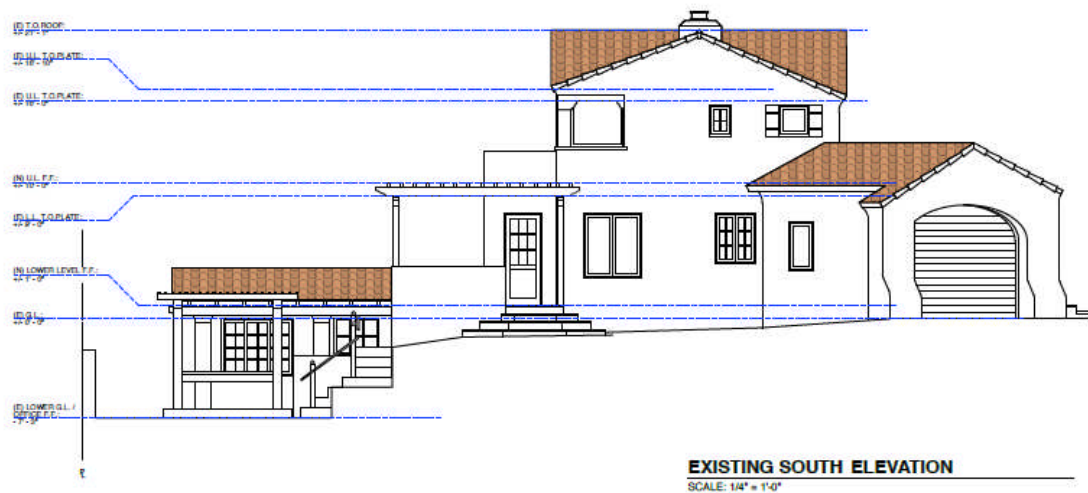


Figure 31, Existing and Proposed Plans South Elevation

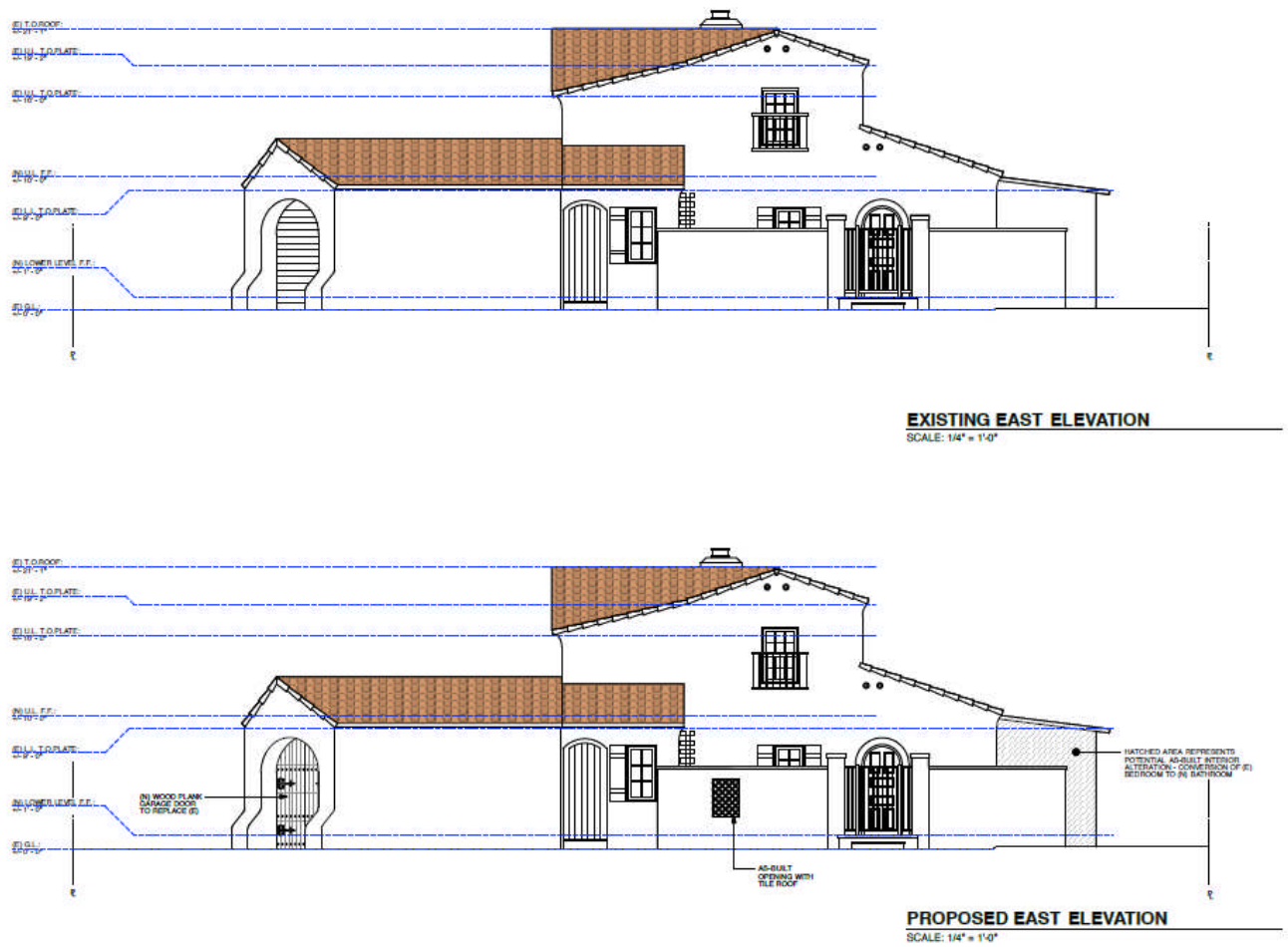


Figure 32, Existing and Proposed Plans East Elevation

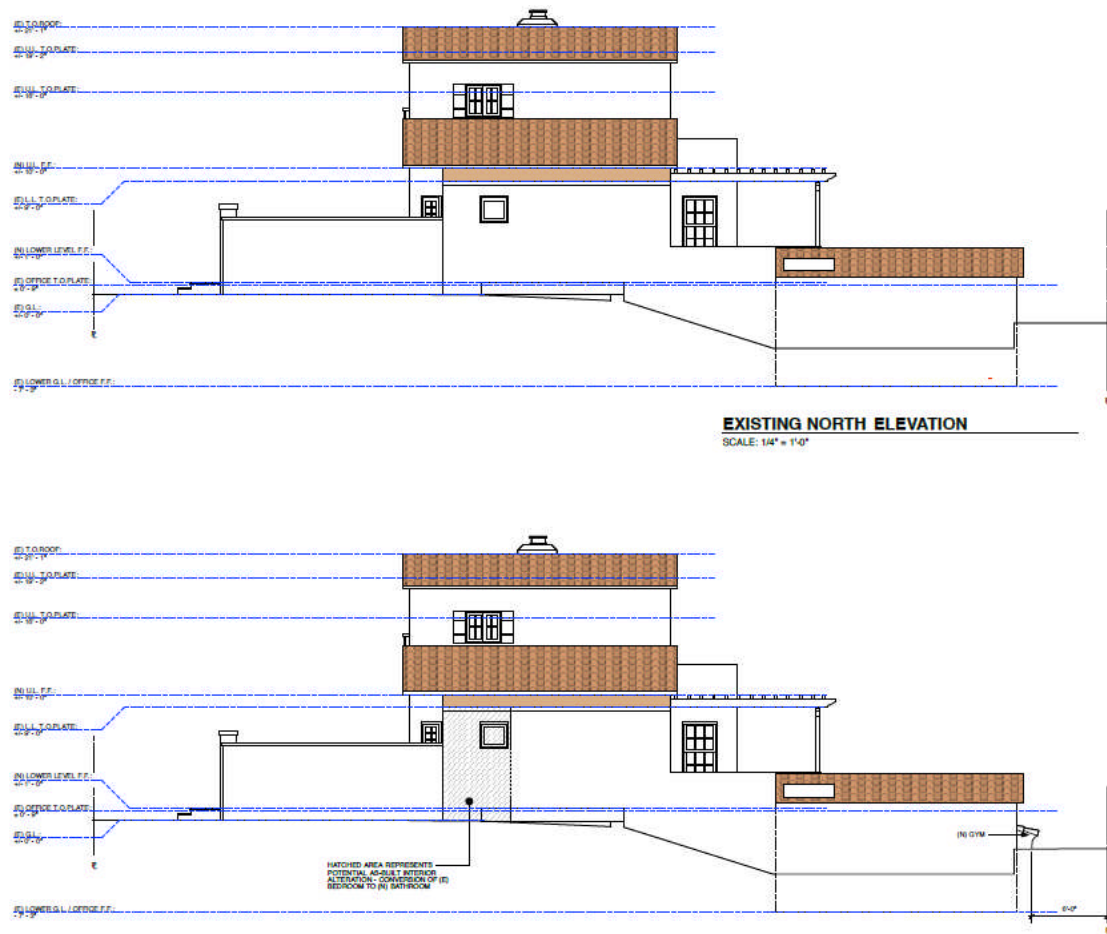
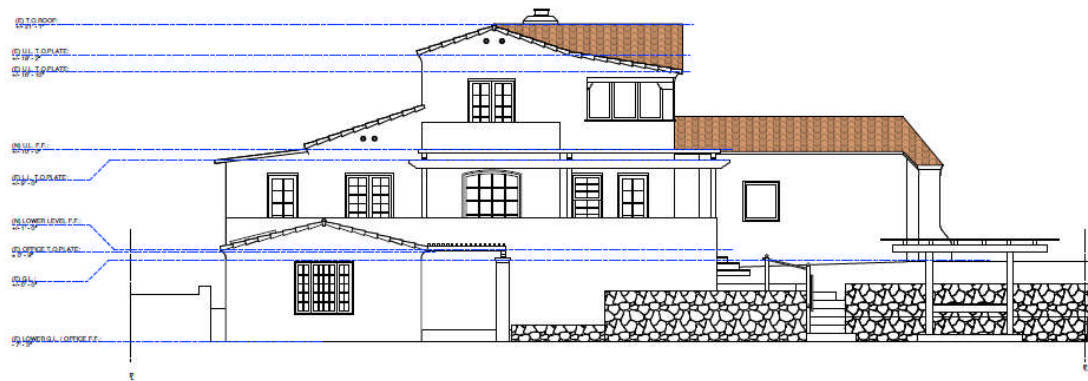
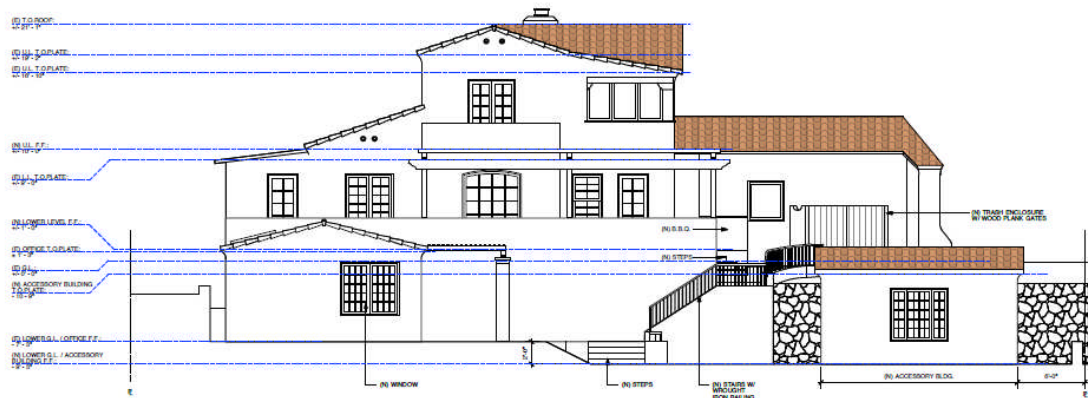


Figure 33, Existing and Proposed Plans North Elevation



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

Figure 34, Existing and Proposed Plans West Elevation

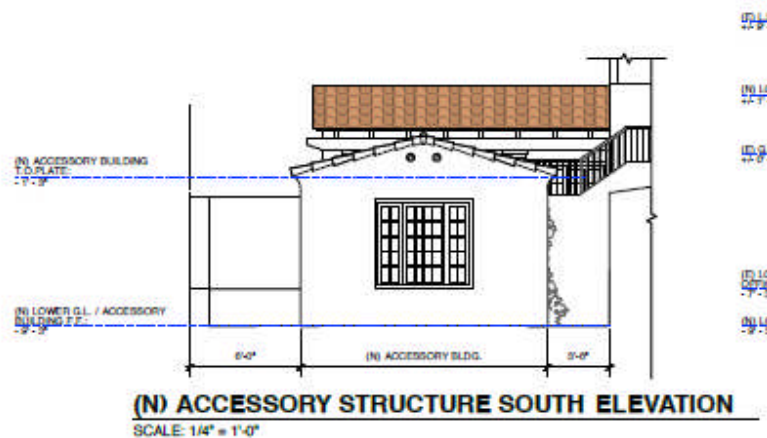


Figure 35a, Proposed Exercise Room

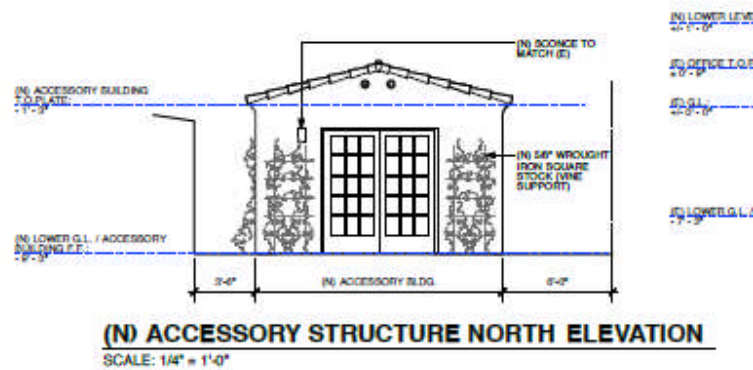


Figure 35b, Proposed Exercise Room

Detailed Project Description

The applicant proposes the following alterations and additions (Figures 30 - 35b).

The House:

- Replace a multi-light casement window at the west end of the south elevation's first floor with a pair of 15-light French doors;
- Replace the existing metal garage door on the south elevation of the garage with a wood sheathed door designed to match the appearance of the door depicted on the original plans (see Appendix B);
- Add a trash enclosure to the west elevation of the garage. The trash enclosure would feature six-foot tall, scalloped, plastered walls and wood swing doors facing west;
- Alter the existing non-historic steps and terrace off the southwest corner of the house; and
- Add an attached barbeque set on a plastered base to the west elevation of the garage wing where it intersects with the house.

Office/Art Studio:

- On the south elevation, replace an existing door and window with a pair of multi-light French doors with sidelights that would open onto a new porch; and
- On the west elevation remove a window and replace it with a pair of multi-light windows.

Proposed Exercise Room:

- Build a detached 12-foot, seven-inch by 117-foot, six-inch, 220 square-foot (gross), one-story Mediterranean style gym near the southwest corner of the parcel. The building would set on axis with the existing office/art

studio building. It would feature plastered walls, a low-pitched, tiled gable roof with flush eaves. On the north elevation, a pair of multi-light French doors would provide access to the interior. Rectangular, divided-light windows placed on the east and west elevations. Decorative trellis work would be placed on the north elevation.

Proposed Alterations to the Landscaping:

- On the east elevation alter the landscaping in the entrance courtyard by installing a new fountain, and a new planter bed;
- Off the rear (west) and side (south) side of the house much of the existing landscaping including the jacaranda tree would be removed and new landscaping would be installed;
- Add a spa to the upper terrace off the southwest corner of the garage;
- Add new retaining walls and a staircase with a metal railing to connect the upper and lower terrace; and
- Insert a rectangular water feature between the office/art studio building and the proposed gym.

Application of the Secretary of Interior's Standards for Rehabilitation to the Project

The following Standards apply to the project:

Standard 1: The property has functioned as a single-family property since 1928 and would continue to do so; therefore, the proposed project meets Standard 1.

Standard 2: Standard 2 is met because the loss of historic fabric is confined to the removal of a single window on the south elevation of the house that is not visible from Plaza Bonita. The paved patio and steps off the house's south elevation are later additions which are not character-defining; therefore, their removal would not remove or impair historic fabric. While the project proposes changes to the rear and side gardens including the construction of a detached accessory building (gym) and the installation of a trash enclosure, barbeque and new landscaping and hardscape, these spaces are not visible from Plaza Bonita and the proposed changes would not impact the setting of the house's street façade (facing towards Plaza Bonita) or the visual integrity of Plaza Bonita. The proposed revisions to the walled patio on the house's street façade would not affect historic building fabric or the building's integrity of design since the courtyard, which was built in 2005, is not an original feature of the house and the changes would not be visible from the plaza. Therefore, the proposed project meets Standard 2.

Standard 3: Standard 3 does not apply because the project does not propose the addition of conjectural features or elements from other historic properties. Therefore, the proposed project meets Standard 3.

Standard 4: Standard 4 does not apply because the project does not propose

changes to features that have acquired historic significance in their own right. Therefore, the proposed project meets Standard 4.

Standard 5 is met since the loss of historic fabric is confined to a single window at the west end of the south elevation that is not visible from Plaza Bonita or the public viewshed and because the garden features and plantings, including the large jacaranda tree, proposed for removal were installed after the 1950s. Therefore, the proposed project meets Standard 5.

Standard 6: The project does not include the replacement of existing character-defining historic fabric because of deterioration. Therefore, the proposed project meets Standard 6.

Standard 7: No physical or chemical treatments are proposed. Therefore, the proposed project meets Standard 7.

Standard 8: The application of this criterion to archaeological deposits is beyond the purview of this report.

Standard 9:

House

- The replacement of one original window on the south elevation with a pair of French doors would not substantially affect the historic character of the house's architecture or the overall relationship of the house to Plaza Bonita since this alteration would not be visible from public viewsheds and the new doors emulate the pattern of divided lights that characterize the house's historic fenestration. Therefore, this alteration meets Standard 9.
- The existing garage door is not character-defining; therefore, its replacement would not remove historic building fabric. The installation of the proposed new garage door which is wood-clad to match the appearance of the wood doors depicted on the Edward, Plunkett and Howell doors (see Appendix B) meets Standard 9.
- The placement of the trash enclosure would not impact the historic façade as it is set off the rear (west) elevation of the garage. Moreover, the enclosure's scalloped plastered walls emulate a design feature depicted on the Edwards, Plunkett & Howell plans for the original service yard (once located on the street elevation, see Appendix B). Therefore, this proposed change meets Standard 9.
- The proposed barbeque is modest in scale and features a plastered base to visually integrate it into the house's setting. Therefore, the insertion of this element does not have the potential for substantially impacting the integrity of the house's architecture and meets Standard 9.

Office/Art Studio

- This building, which is less than 50 years of age, is not a contributing feature to the property's historic significance. Moreover, the proposed alterations would maintain the building's existing design vocabulary, which is broadly contextual with the house's Spanish Colonial Revival style architecture. Therefore, the proposed changes to the landscape meet Standard 9.

Proposed Exercise Room

- The proposed exercise room would be placed to the rear of the lot and with its plastered walls, tile-clad roof and divided light fenestration, has been designed to reference the house's overall architectural style and its construction would not remove historic garden features or plantings or hardscape that contribute to the property's historic significance or the viewshed of Plaza Bonita. Therefore, the proposed design for the exercise room meets Standard 9.

Landscaping and Hardscape

- The proposed landscaping uses materials such as stone retaining walls and steps, low water features and pergola elements that are characteristic of a Mediterranean style garden is appropriate to the house's Spanish Colonial Revival style architecture. Moreover, the new landscaping is confined to the rear of the property or behind the entrance façade's walled patio and would not be visible from Plaza Bonita. Therefore, the proposed landscaping plan meets Standard 9. It is recommended that edging materials for some of the new planters be sandstone to emulate the sandstone curbs found along the house's frontage on Plaza Bonita.

Standard 10: The new building, hardscape and landscaping could be removed in the future with no substantial impact to the house's integrity of design or materials and without affecting the character-defining spatial relationship between the house and Plaza Bonita. Therefore, the proposed alterations to the property, meet Standard 10 (see below for a detailed discussion of Standard 10).

7.5 Evaluation of Cumulative Impacts to Significant Historic Resources

The cumulative impact analysis will focus on evaluating the effect of the proposed project at 2019 Plaza Bonita and other past, present and reasonably foreseeable projects in the vicinity. To assess the effects of the proposed project on nearby significant historic resources, the definition of significant effects from CEQA Appendix G, Section 15064.5, was used in combination with the more specific language found in Section 106 of the National Preservation Act of 1966 (36 CFR §800 as amended). Specifically, Number § 800.5 (a) (1) states that: *an adverse effect is found when an undertaking may alter, directly or indirectly, any*

of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative. Cumulative impacts can be defined as the total effects on a resource of that action and all other activities affecting that resource (CEQ 1987).

The relevant adverse effects listed in § 800.5 (a) (2) are:

(iv) Changing the character of the property's use or of physical features within the property's setting that contribute to its historic significance; and

(v) Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features.

Cumulative Impacts are defined by CEQA as two or more individual impacts which, when considered together, are considerable or which compound or increase other environmental impacts (CEQA Guidelines, Sections 15064 and 15355). The focus of the analysis will be on assessing potential effects associated with the proposed project and its contribution to cumulative impacts to the character-defining features of significant historic resources identified in this report.

A review of City records did not reveal any nearby projects that could potentially contribute to cumulative impacts to significant historic resources. The project at 2019 Plaza Bonita does not propose substantial alterations to the street façade of the house and confines alterations to the visible portion of the garage to the replacement of the existing non-historic garage door with a more historically appropriate door. These changes would not affect the architectural integrity of the house which makes its primary contribution to the proposed Plaza Bonita Historic District through its street façade and the south elevation of the garage as well as its spatial relationship to the plaza itself. Therefore, if the project is implemented as currently proposed, the cumulative impact of these changes which meet the Secretary of the Interior's Standards for Rehabilitation would result in a Less than Significant Cumulative Impact (Class III) to significant historic resources.

8.0 SUMMARY AND CONCLUSIONS

This Phase 2 Historic Structures/Sites Report prepared by Post/Hazeltine Associates has concluded that the proposed project's impacts to significant historic

resources on the project parcel and in the surrounding potential Plaza Bonita Historic District are Less than Significant (Class III). After implementation of the proposed project the property at 2019 Plaza Bonita would maintain its eligibility for listing as a contributing property to the potential Plaza Bonita Historic District and its continued listing on the City of Santa Barbara Potential Historic Resources List.

9.0 REFERENCES

Published Sources and Professional Reports Consulted:

Andree, Herb and Noel Young.

1975 *Santa Barbara Architecture: From Spanish Colonial to Modern*,
Santa Barbara: Capra Press.

Clark, Clifford E.

1986 *The American Family Home: 1800-1960*. University of North Carolina Press, Chapel Hill.

McFarlane Archaeological Consultants

2015 Phase 1 Archaeological Resource Survey, 1308 North Salsipuedes Street, Santa Barbara California.

National Park Service

The Secretary of the Interior's Standards for the Treatment of Historic Properties.

1991 Brochure, Preservation Assistance Division, Washington D.C.

1995 *The Secretary of the Interior's Standards for the Treatment of Historic Properties.*
Brochure, Preservation Assistance Division, Washington D.C

Post/Hazeltine Associates

2004 Lower Riviera Survey. Prepared for the City of Santa Barbara Community Development Department.

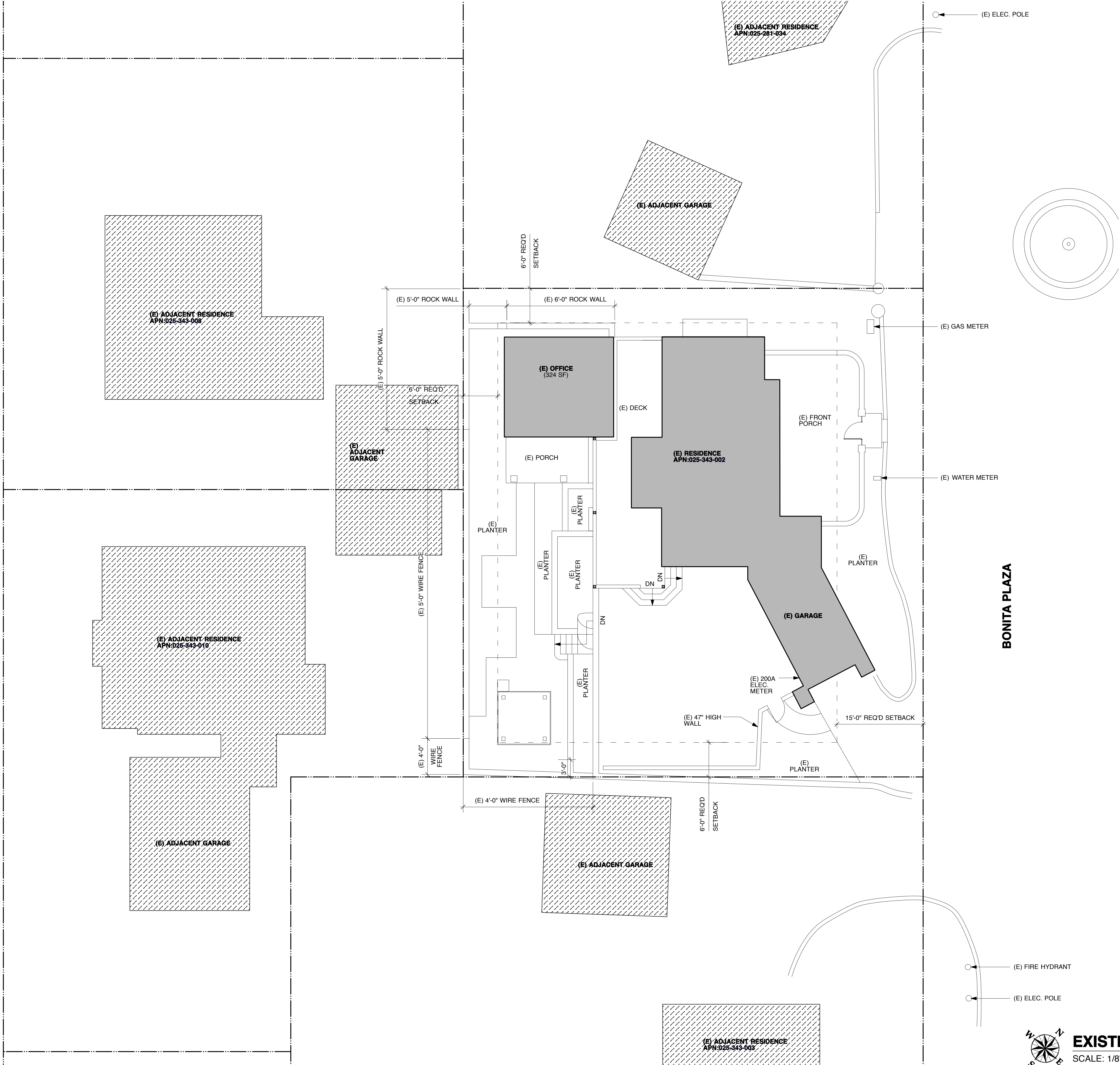
The following archives were used in the preparation of this report:

Santa Barbara Historical Museum, Gledhill Library

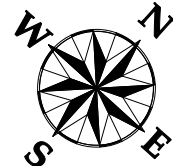
Appendix A

Architect's Plans

CLEVELAND AVENUE



BONITA PLAZA



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

2019 PLAZA BONITA
SANTA BARBARA, CA 93103

DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL

T 2.0

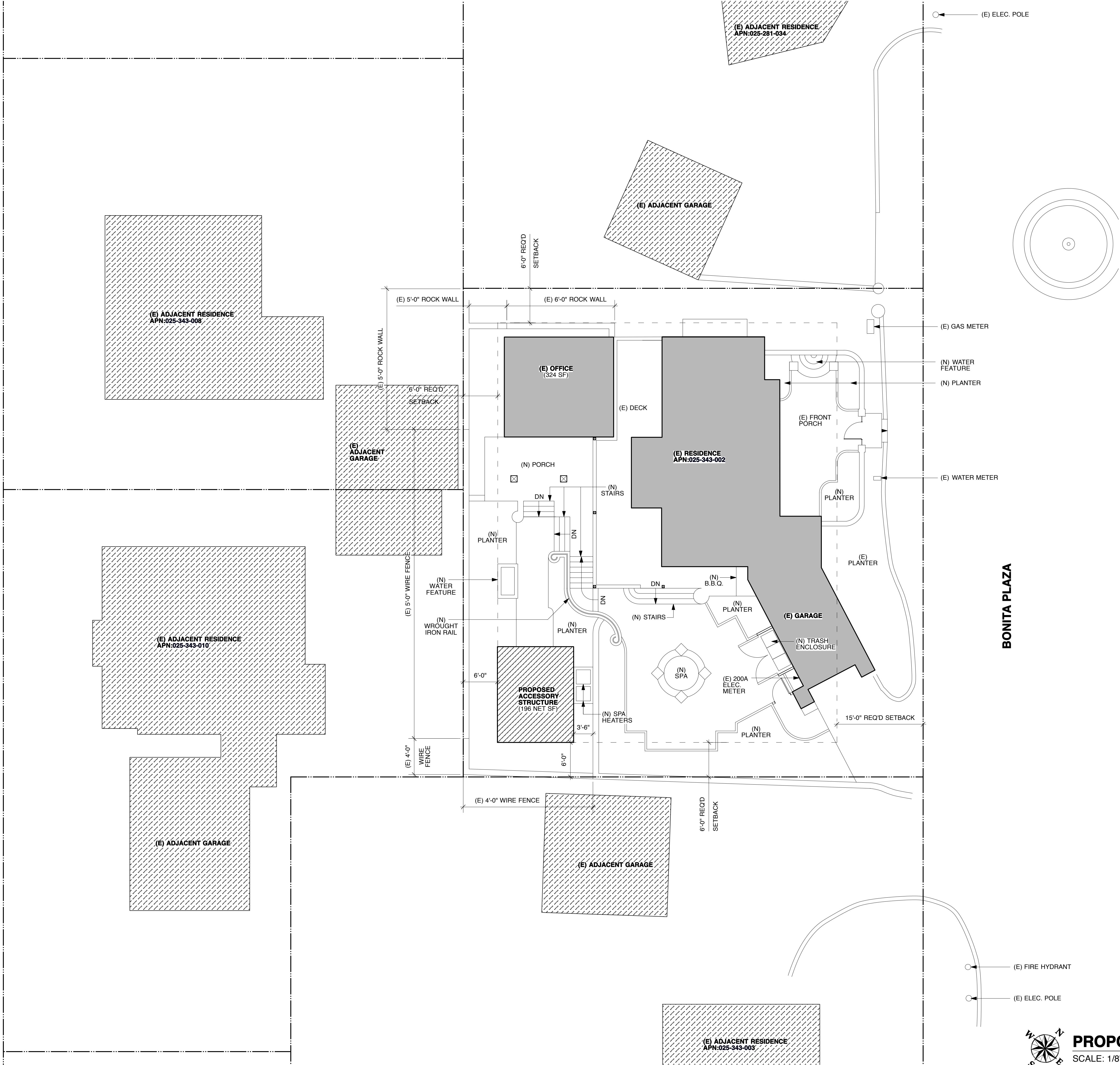
SITE PLAN

S H E R R Y &
A R C H I T E C T S

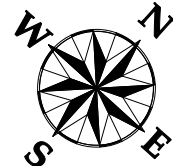
535 SANTA BARBARA STREET
SANTA BARBARA, CA 93103
TEL: (805) 963-0986
FAX: (805) 963-0178
D A W N S H E R R Y . C O M

THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.

CLEVELAND AVENUE



BONITA PLAZA



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

2019 PLAZA BONITA
SANTA BARBARA, CA 93103

DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL

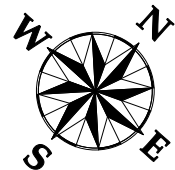
T 2.1

PROPOSED SITE PLAN

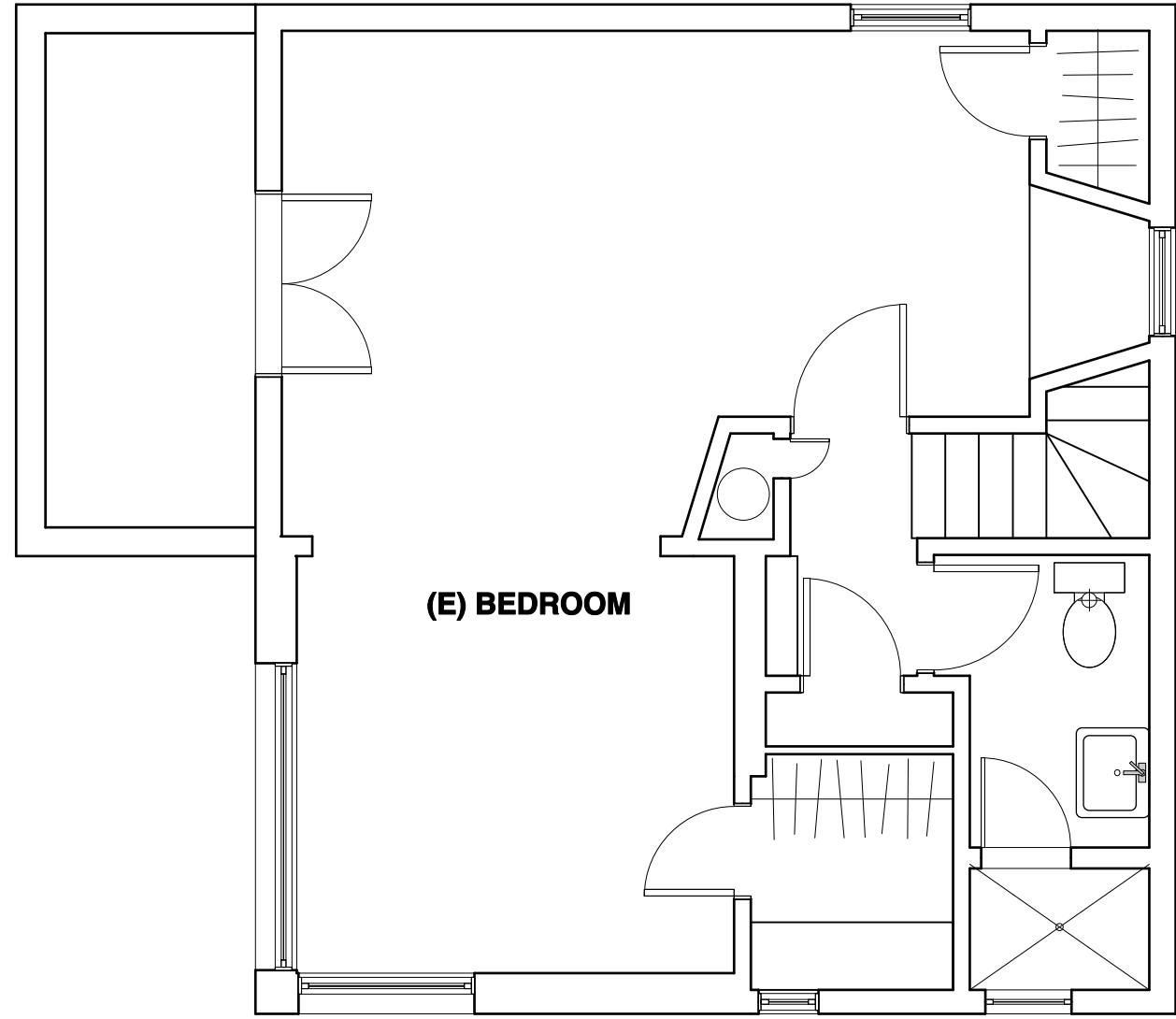
S H E R R Y &
A R C H I T E C T S

535 SANTA BARBARA STREET
MAIL BOX 23634
SANTA BARBARA CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0178
D A W N S H E R R Y . C O M

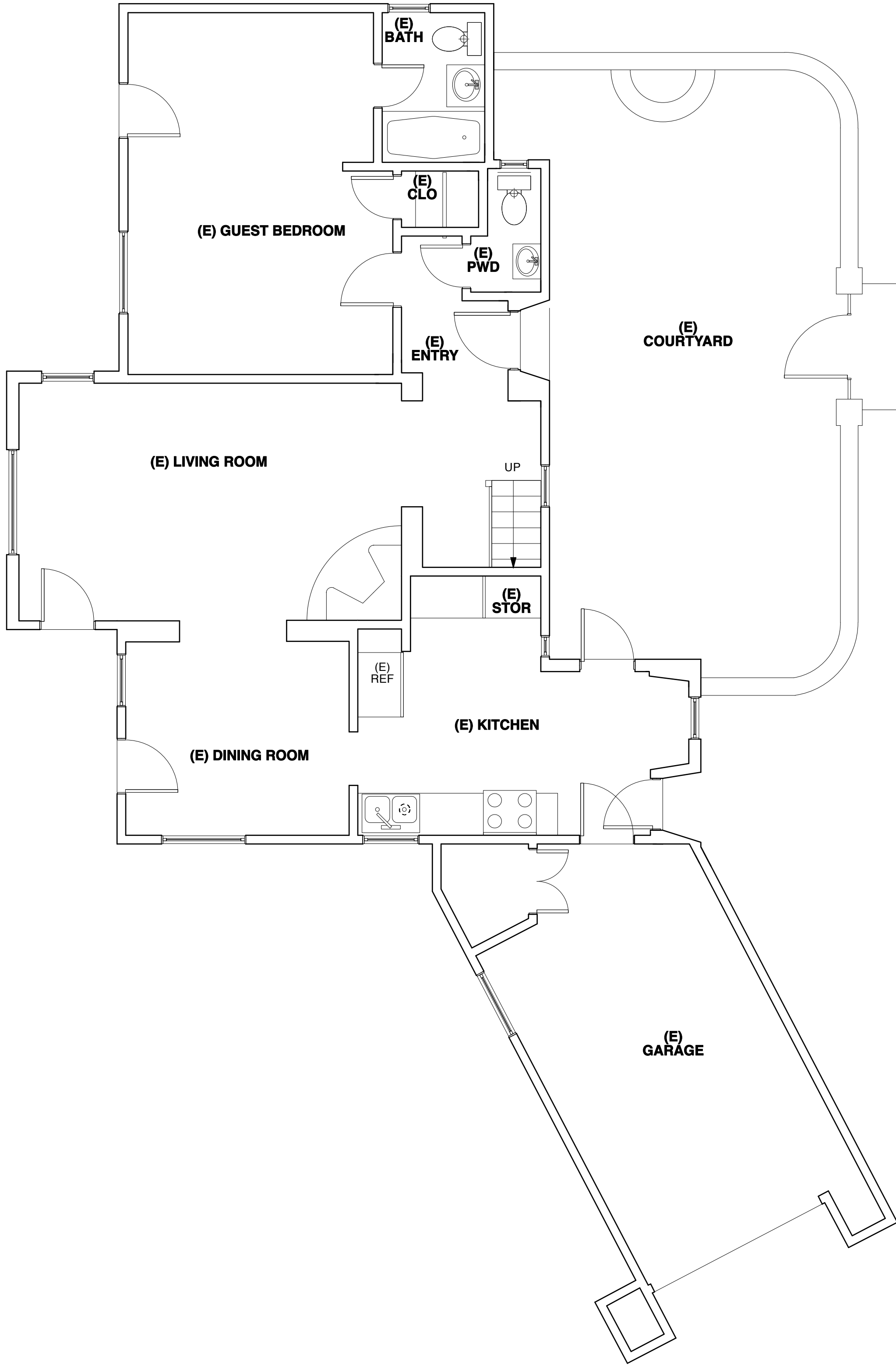
THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.



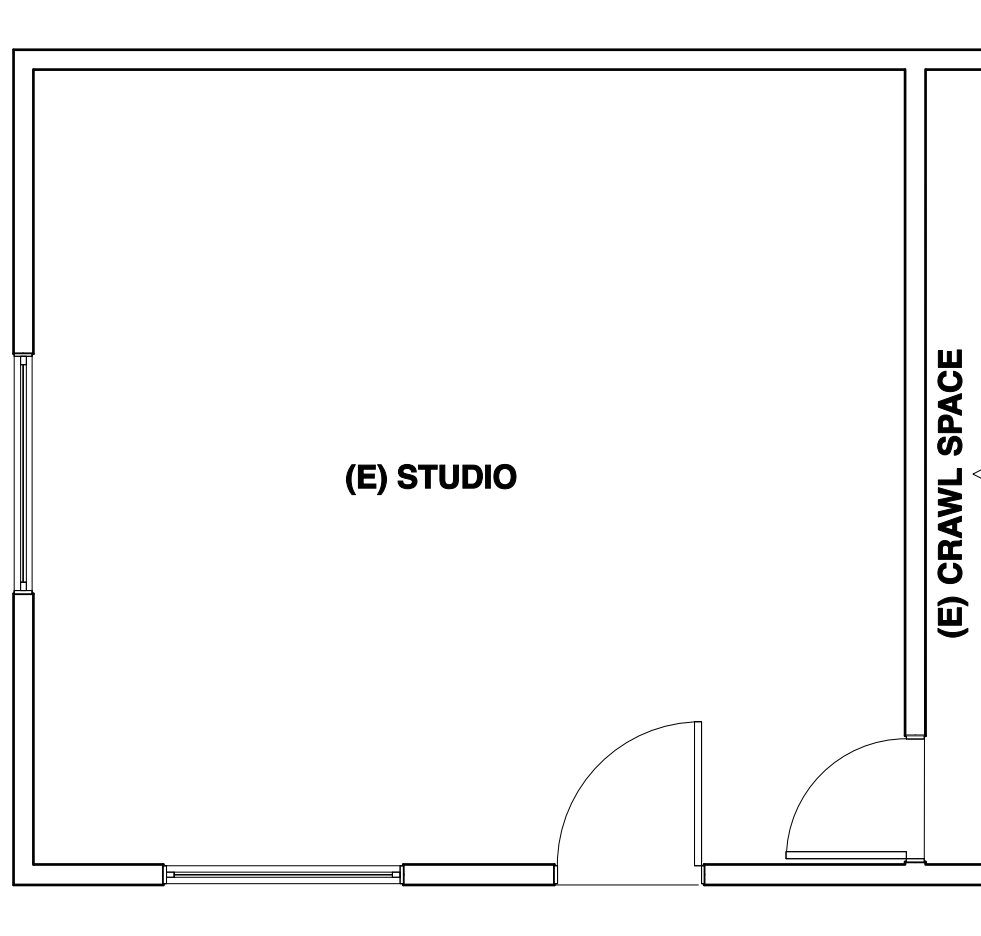
EXISTING UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



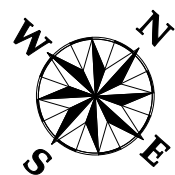
ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

2019 PLAZA BONITA
SANTA BARBARA, CA 93103

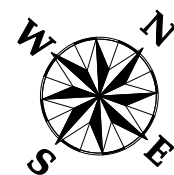
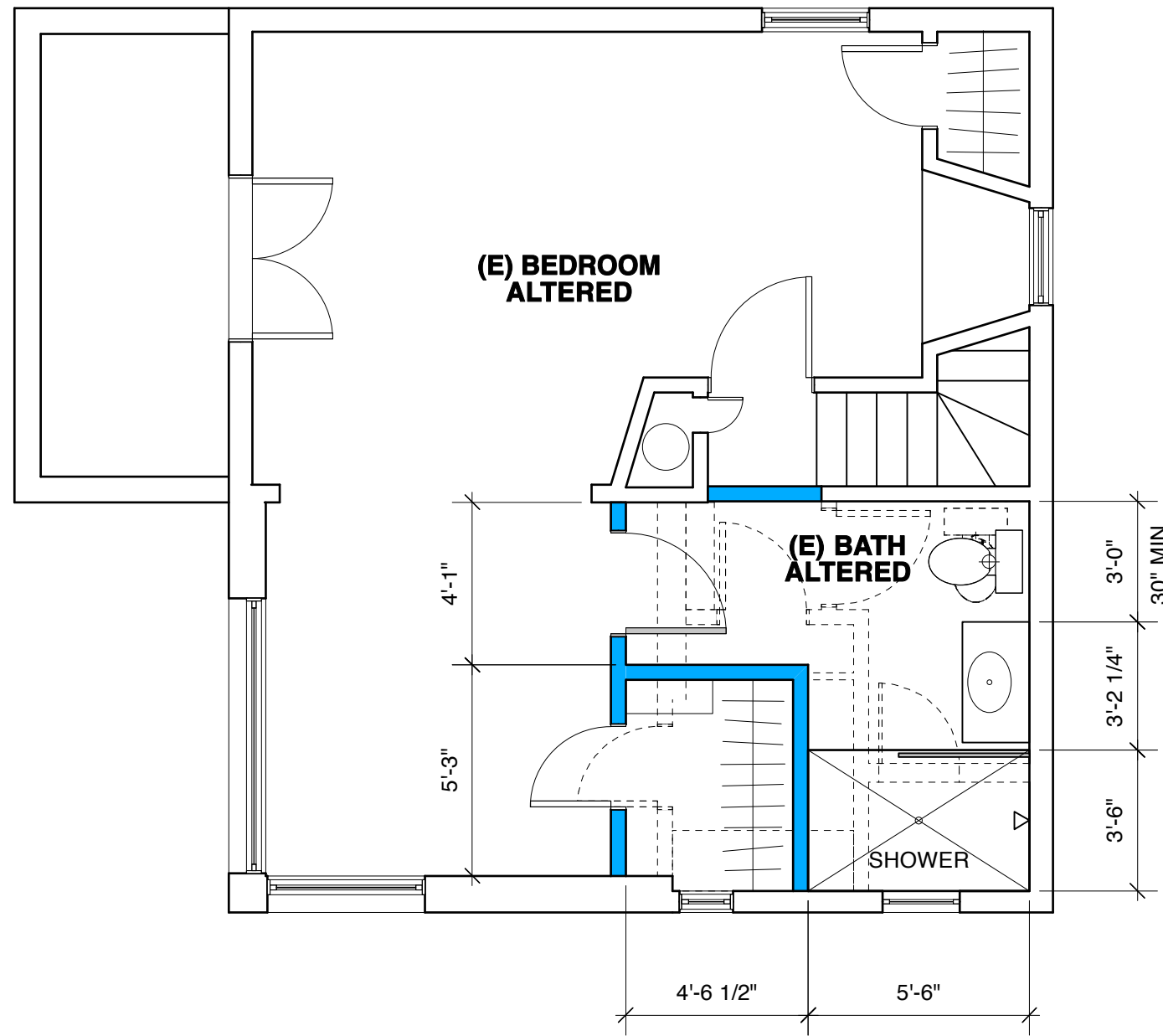
S H E R R Y &
A R C H I T E C T S

535 SANTA BARBARA STREET
SANTA BARBARA, CA 93103
TEL: (805) 963-0986
FAX: (805) 963-0178
DAWN B. DAWNSHERRY.COM

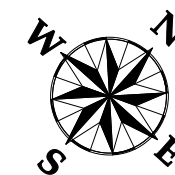
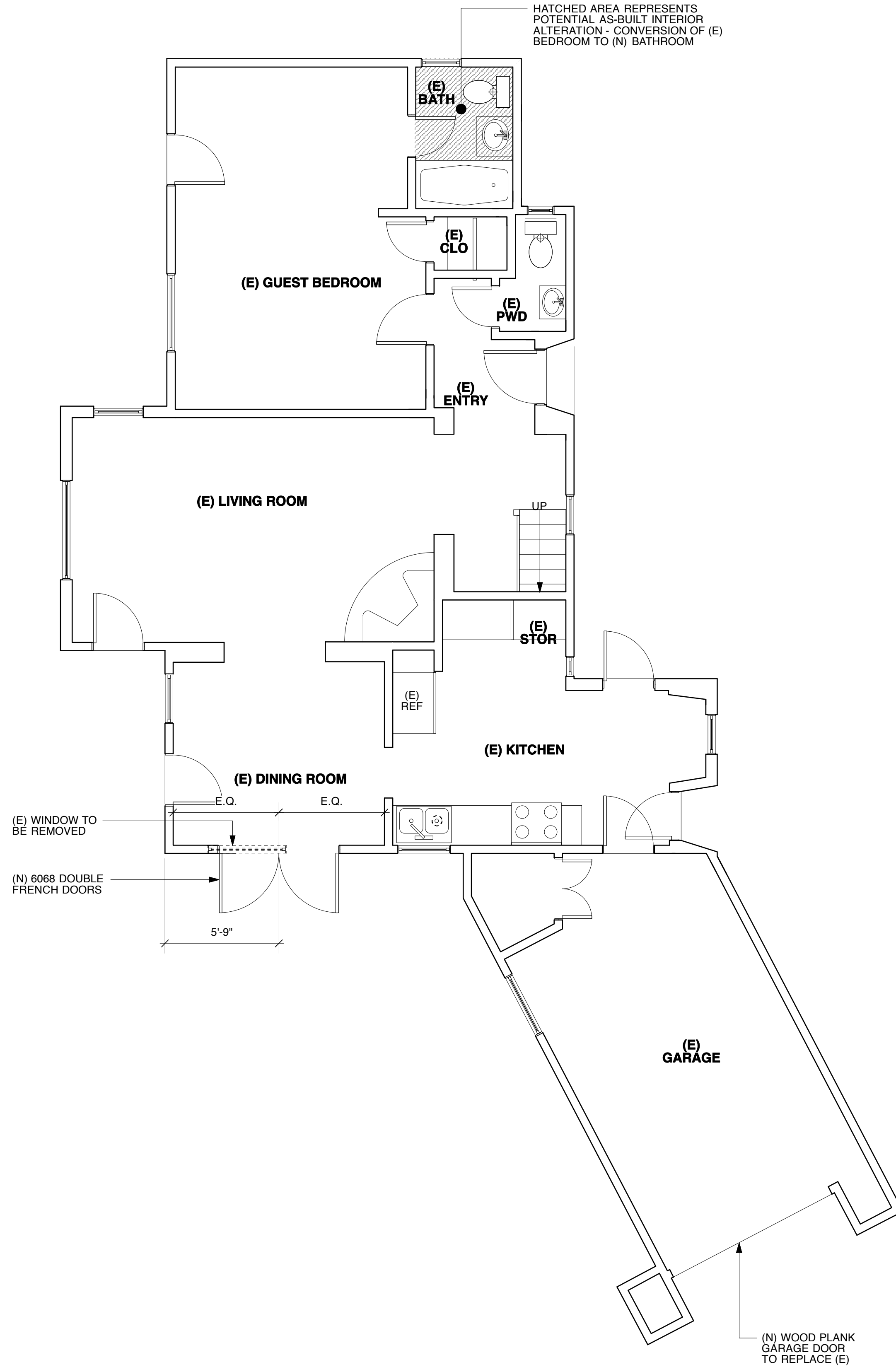
DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL



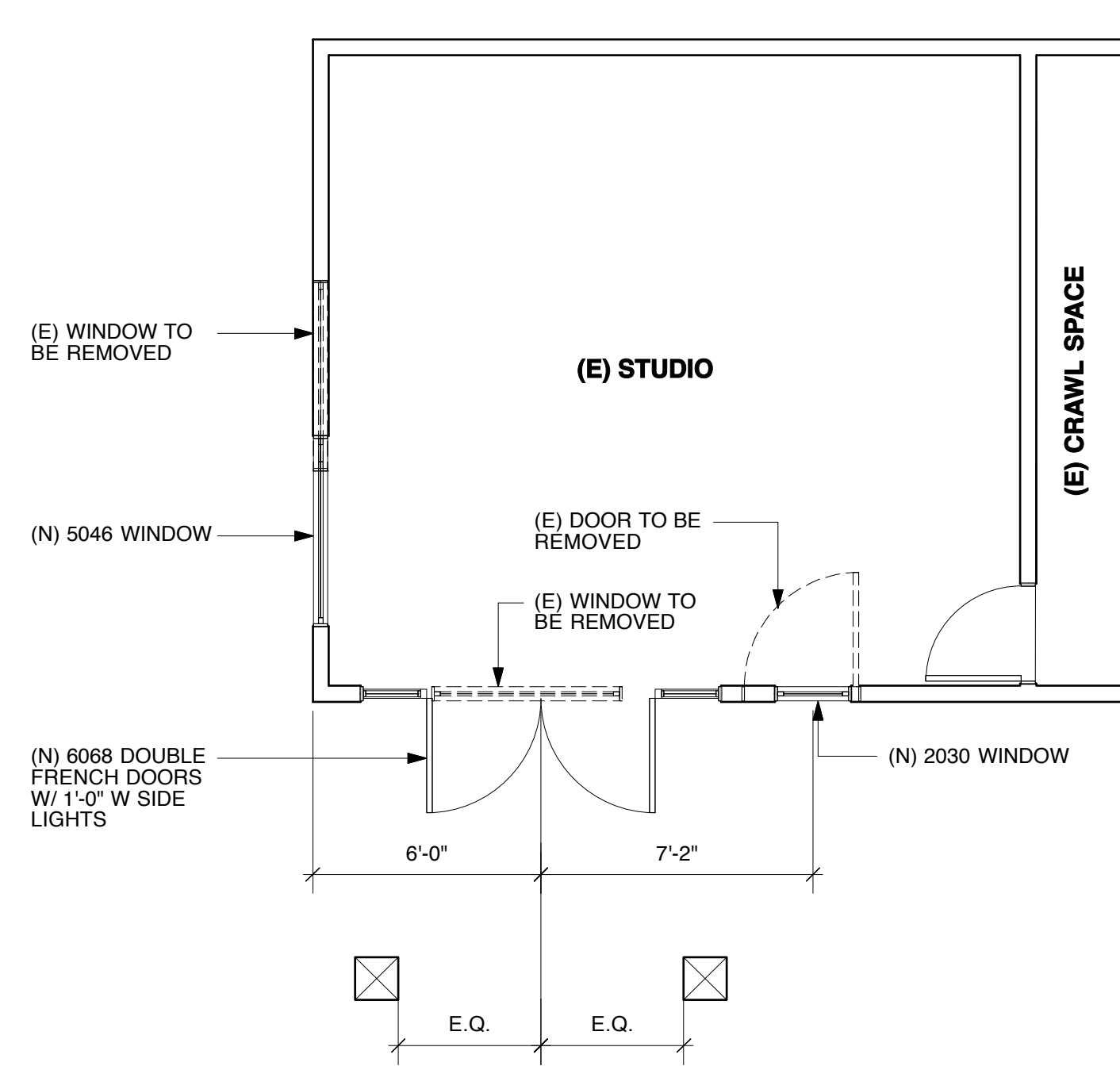
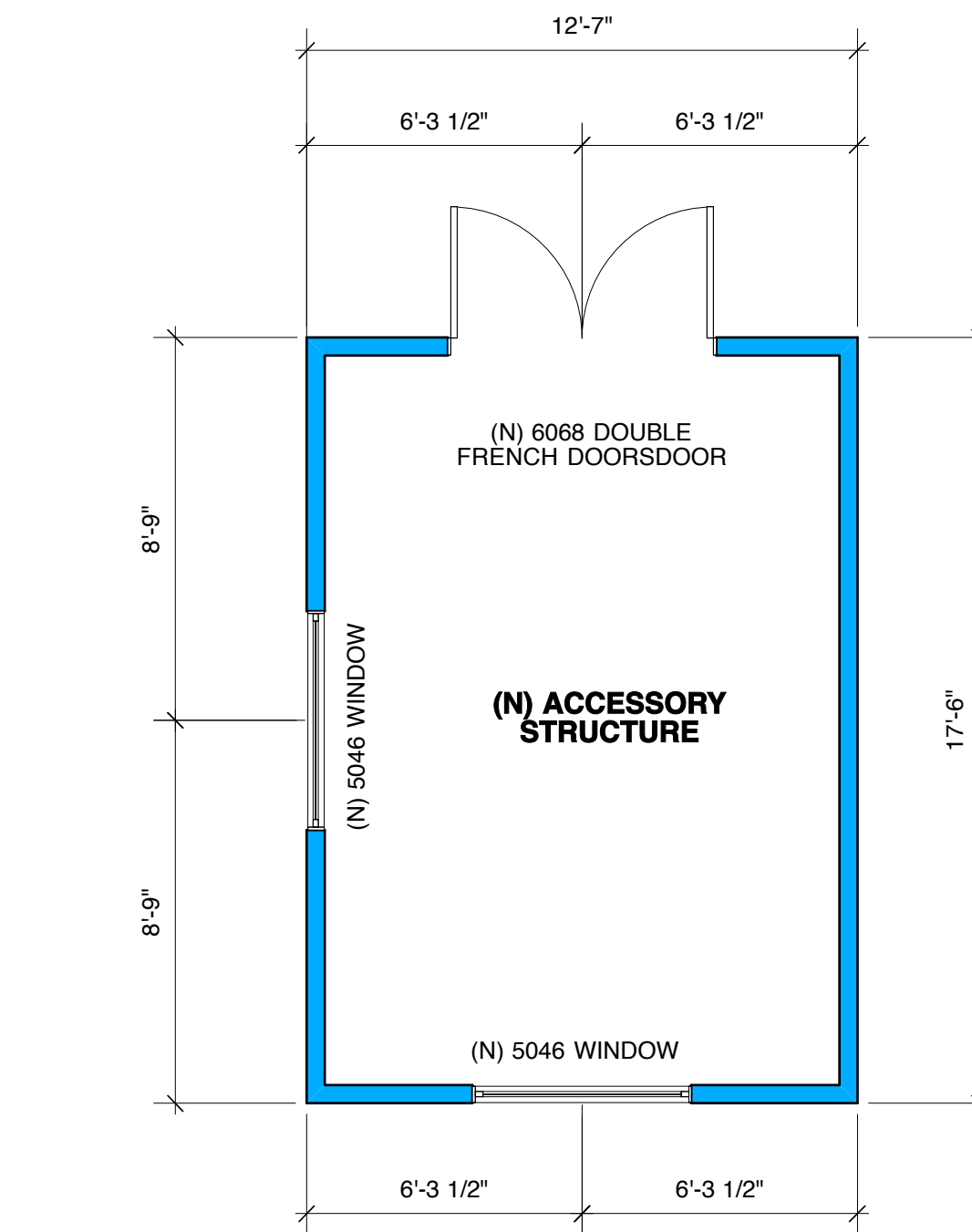
PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

2019 PLAZA BONITA
SANTA BARBARA, CA 93103

DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL

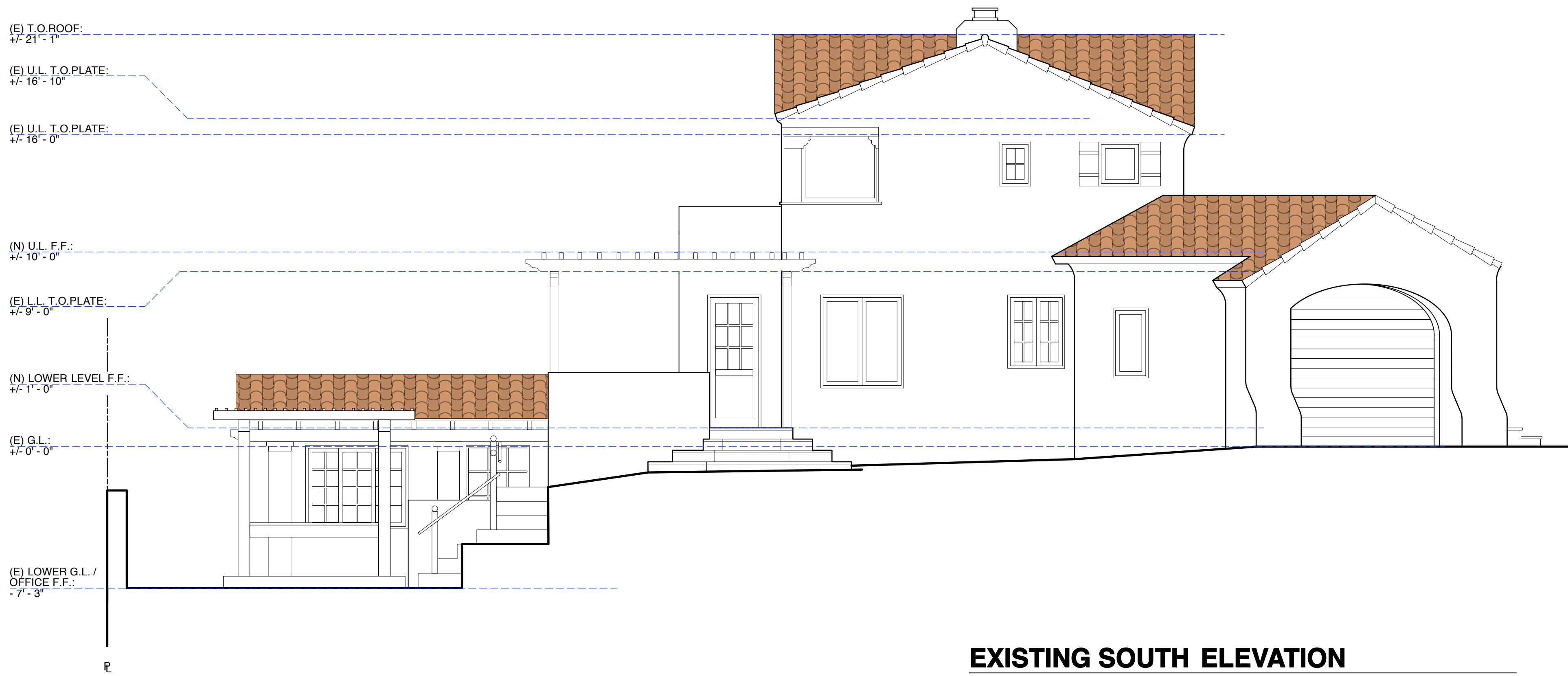
A 1.2

PROPOSED FLOOR PLANS

S H E R R Y &
A R C H I T E C T S

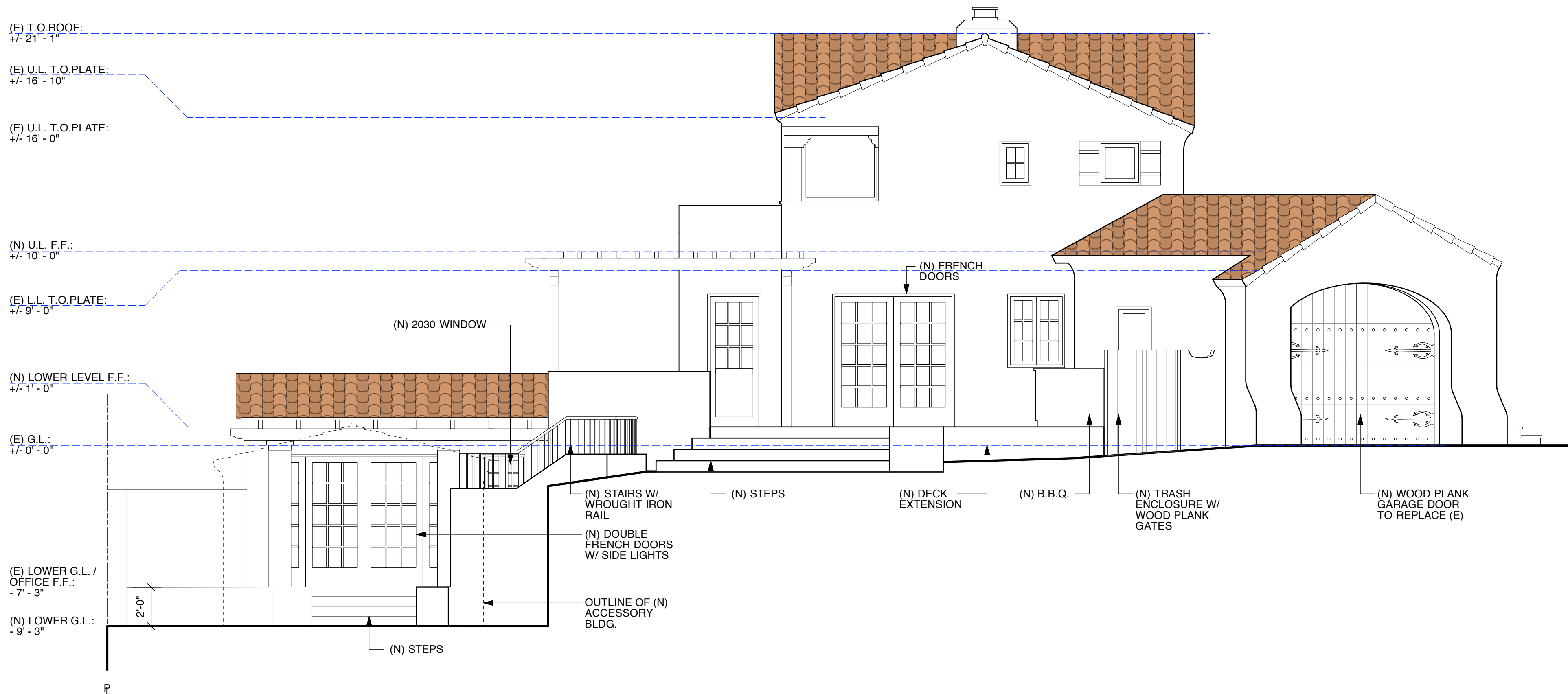
535 SANTA BARBARA STREET
MAIL BOX # 23634
SANTA BARBARA, CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0178
EMAIL:
DAWN@DAWNSHERRY.COM

THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.



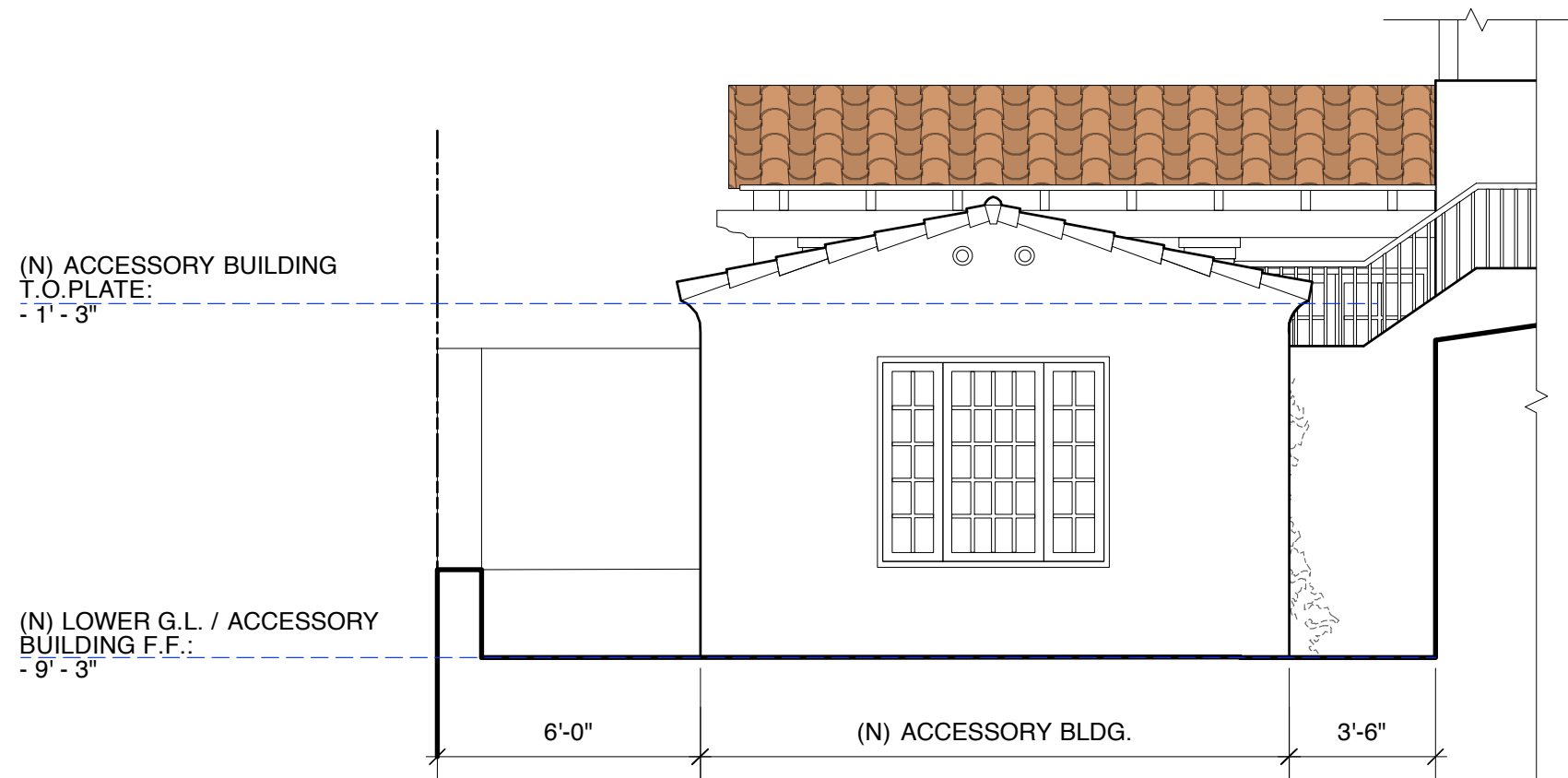
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



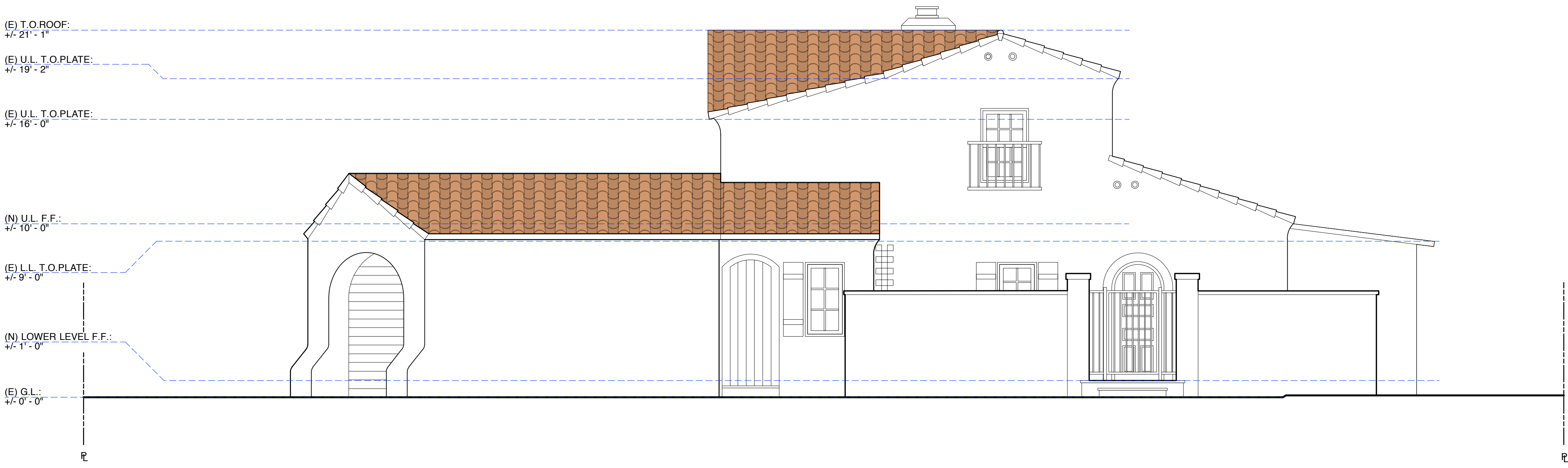
(N) ACCESSORY STRUCTURE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

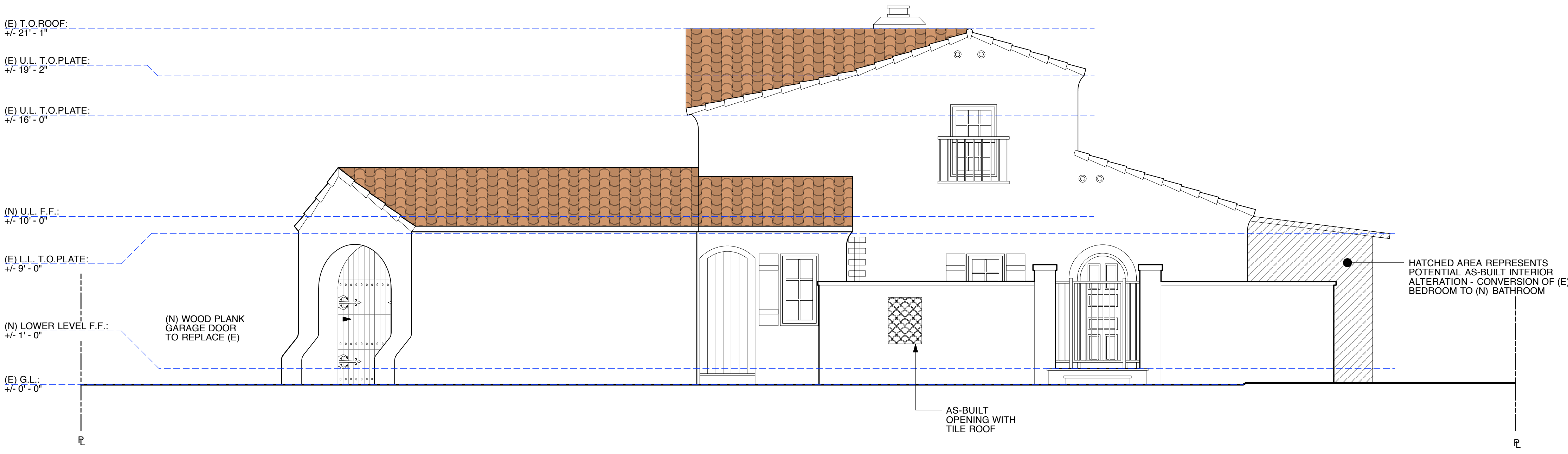
2019 PLAZA BONITA
SANTA BARBARA, CA 93103

DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



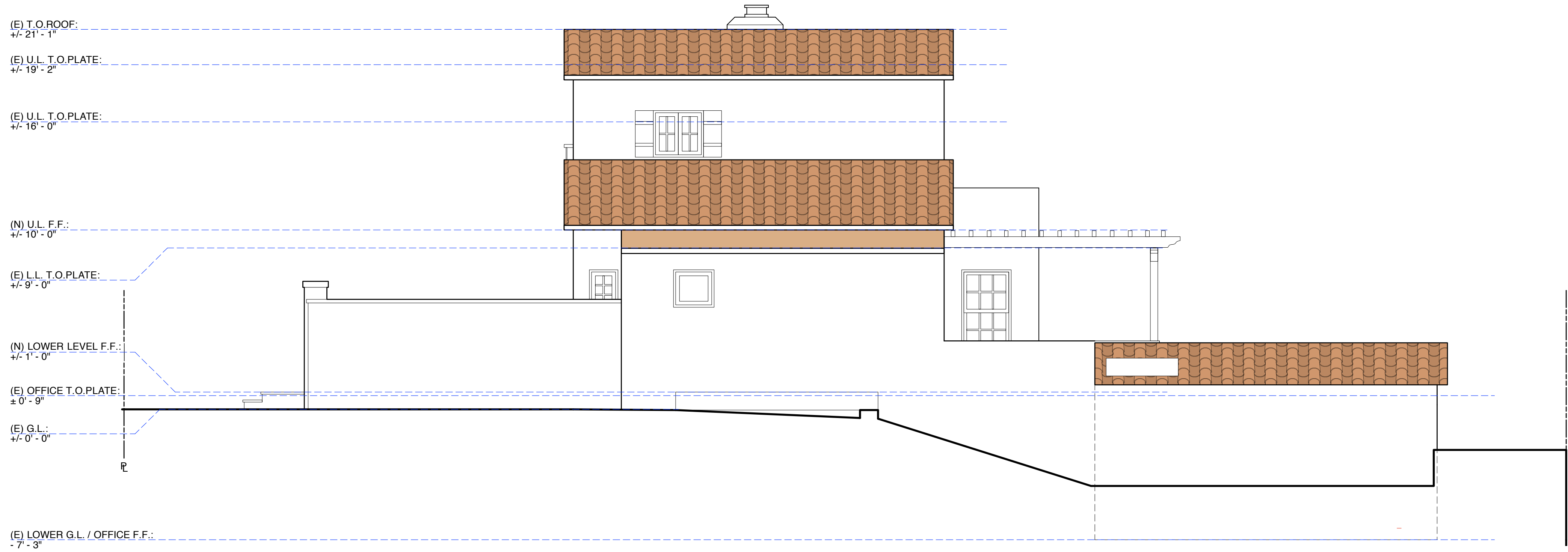
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

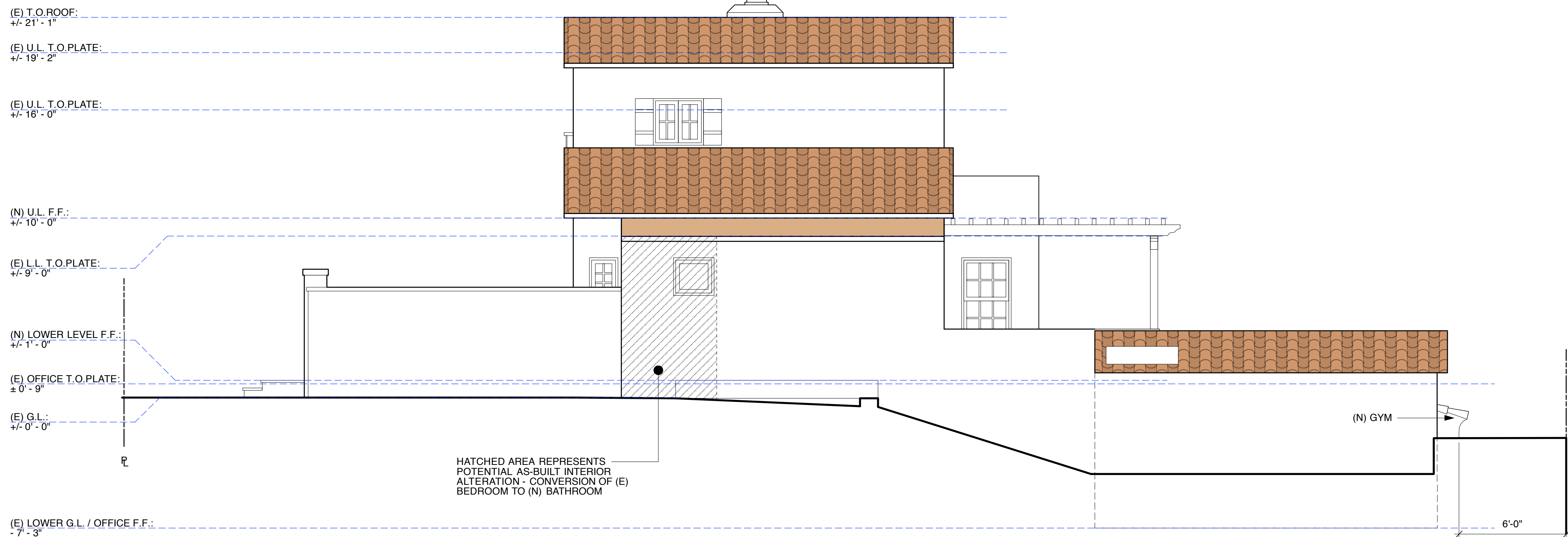
2019 PLAZA BONITA
SANTA BARBARA, CA 93103

DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL



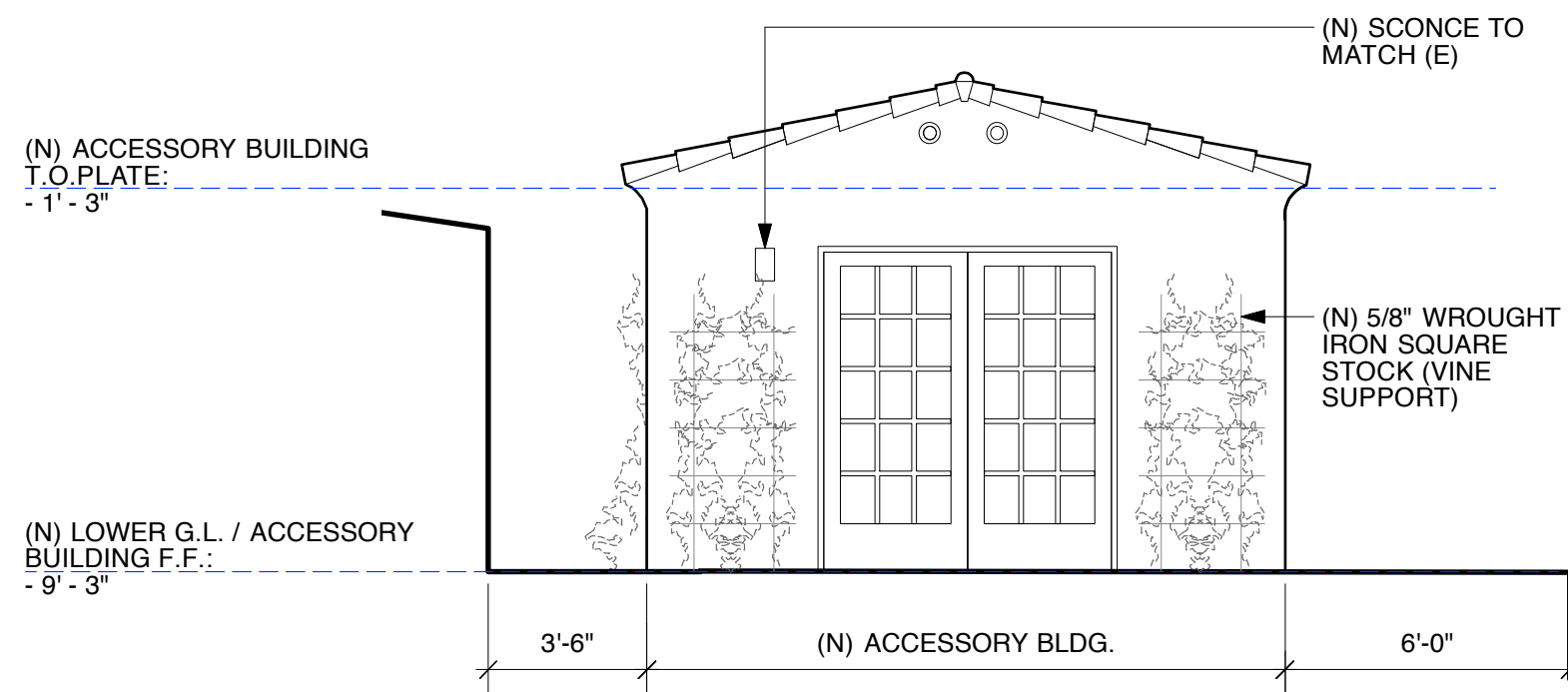
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



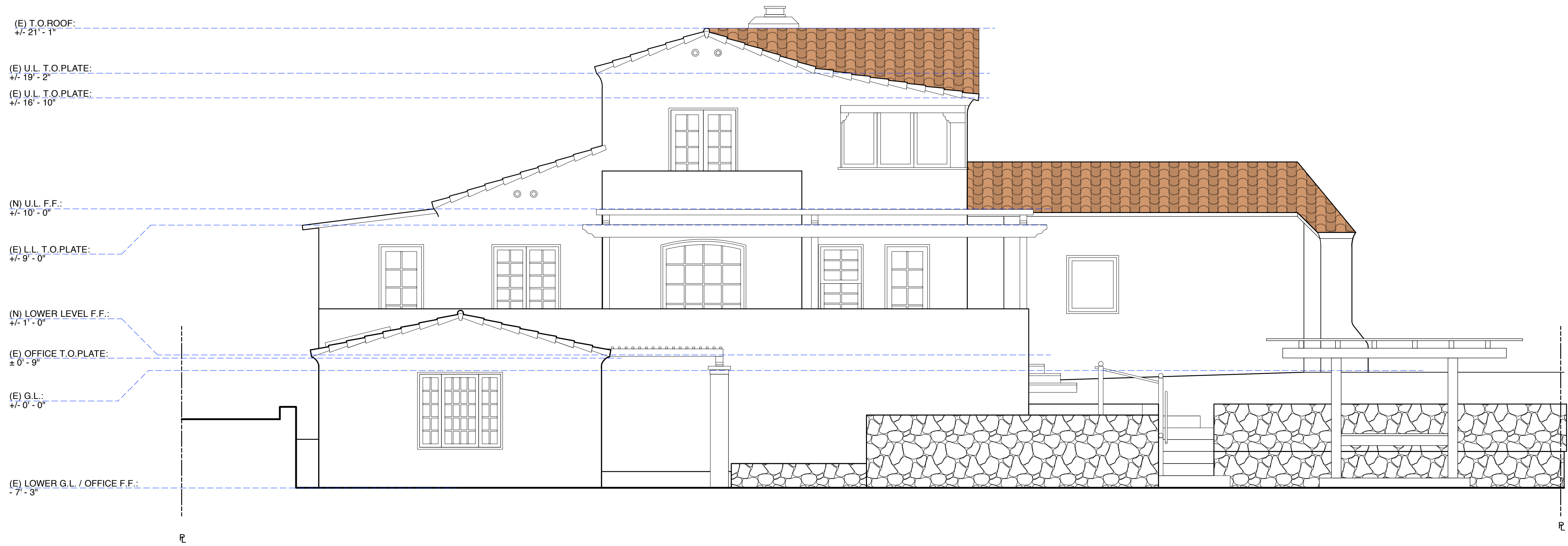
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



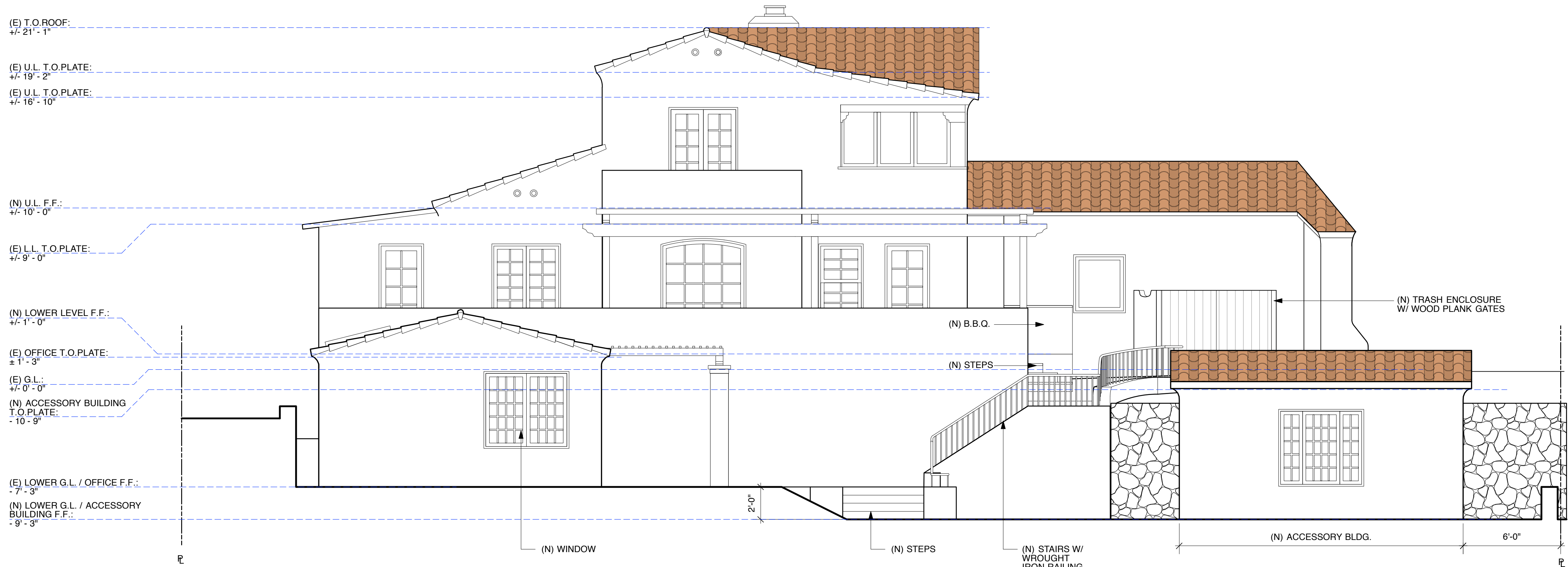
(N) ACCESSORY STRUCTURE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

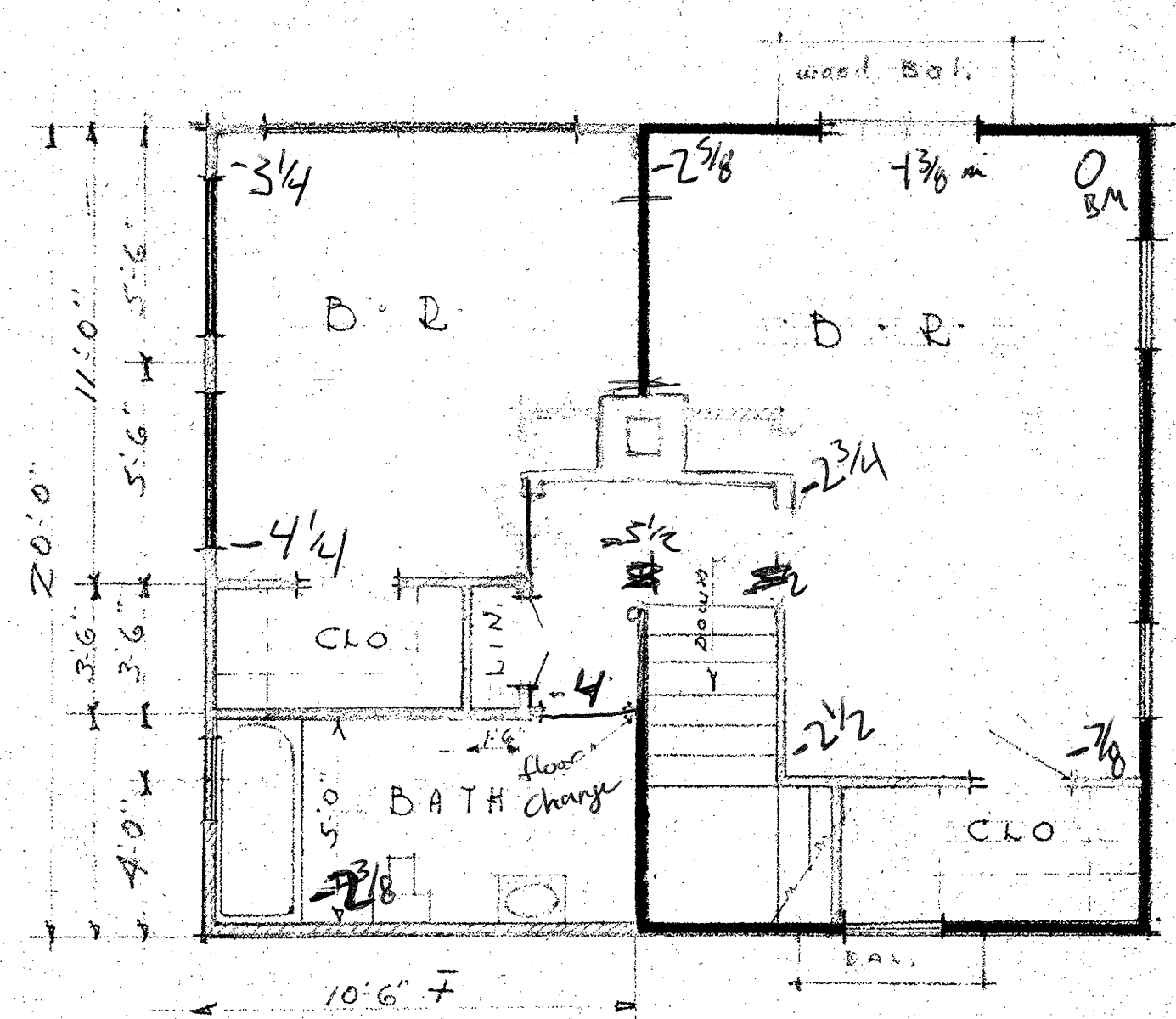
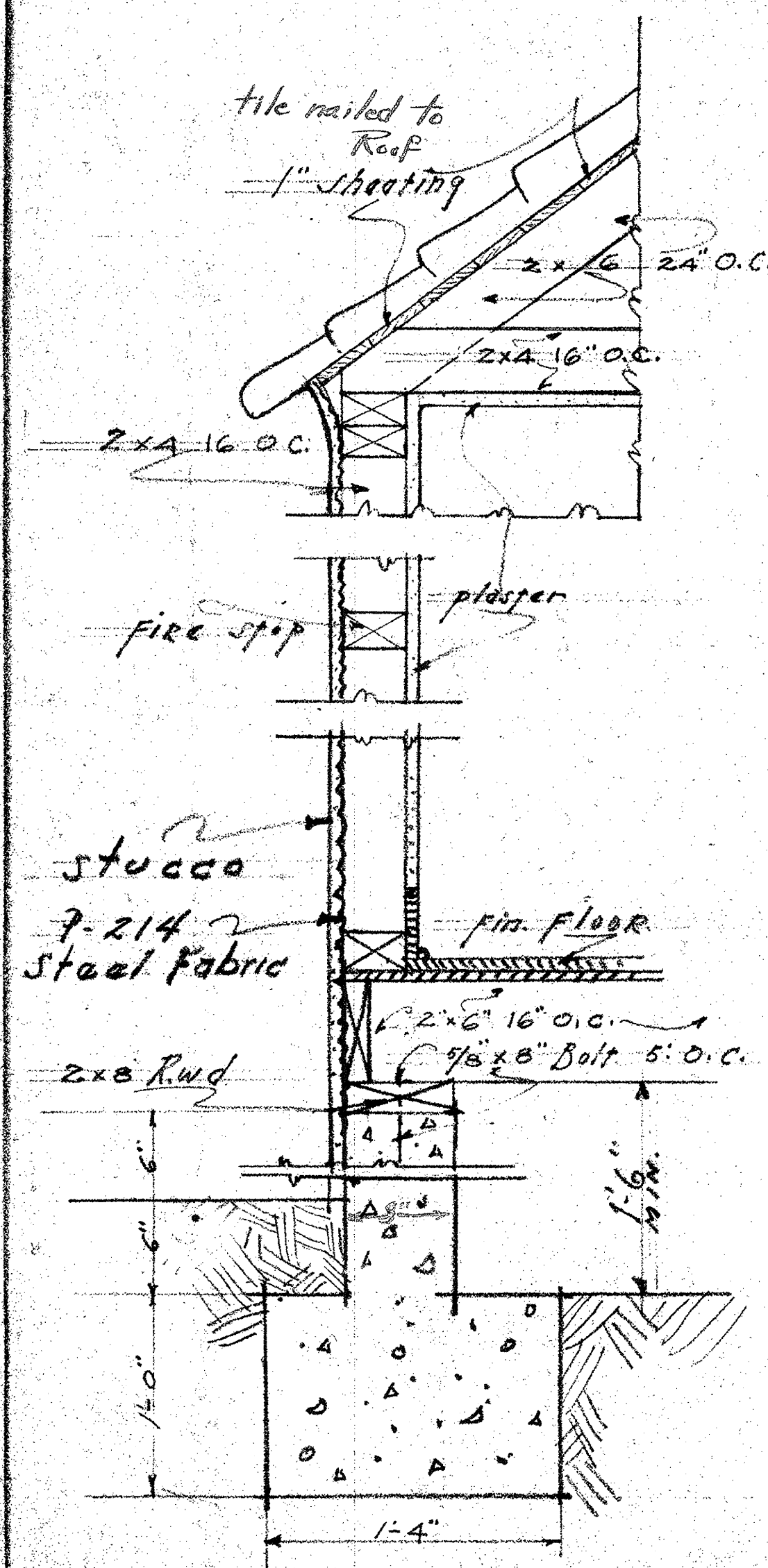
ALTERATIONS AND ADDITIONS TO
EXISTING SINGLE FAMILY RESIDENCE

2019 PLAZA BONITA
SANTA BARBARA, CA 93103

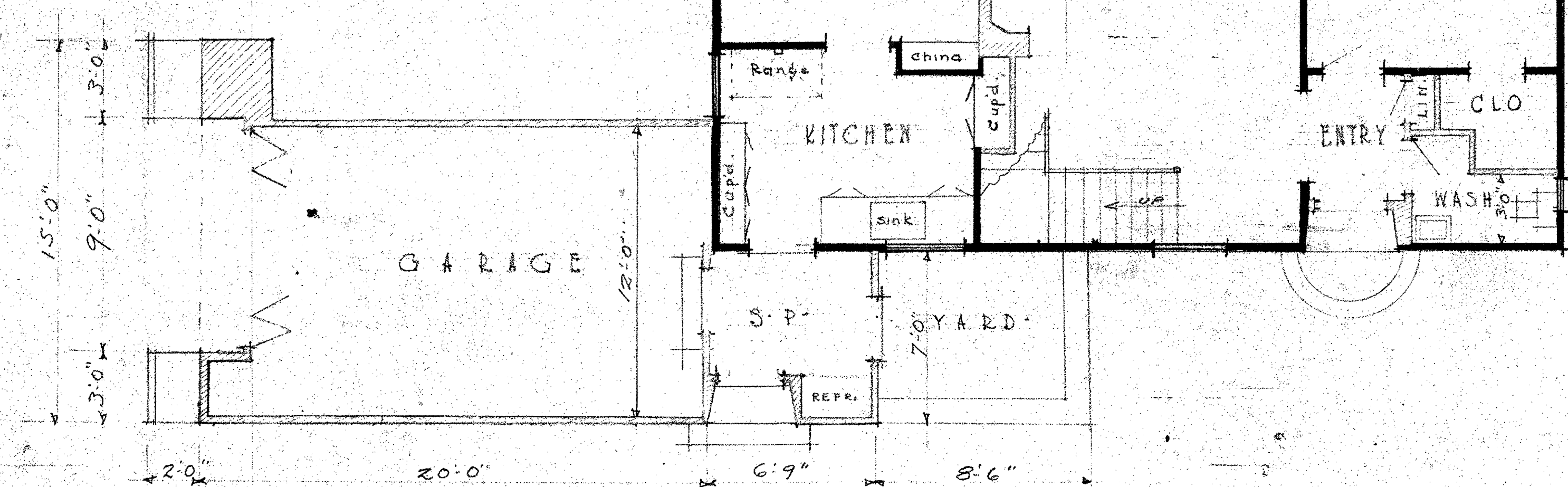
DATE	DESCRIPTION
12/19/16	ARCHAEOLOGICAL REPORT
01/09/17	MINOR DESIGN REVIEW SUBMITTAL

Appendix B

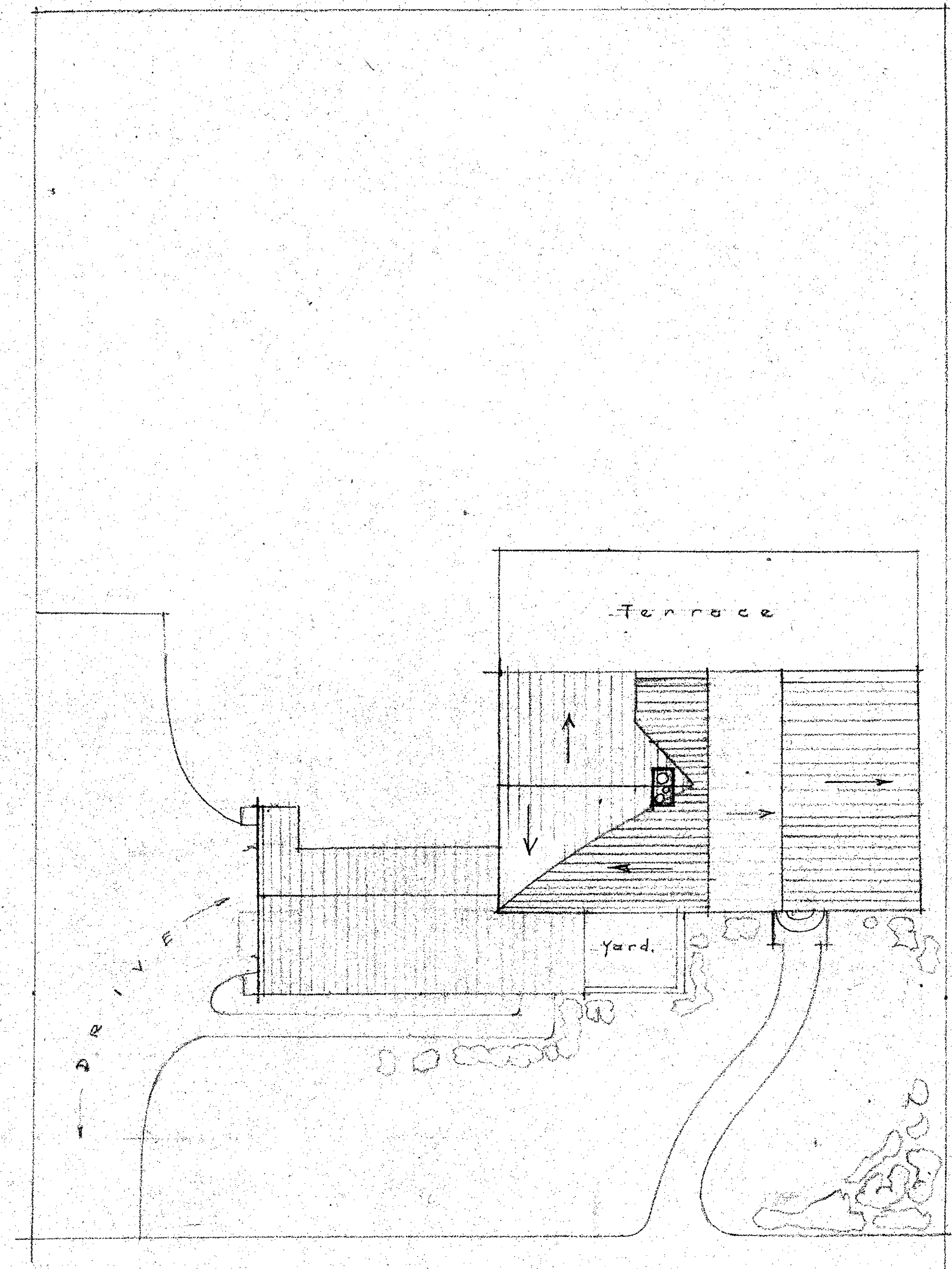
Edwards, Plunkett & Howell Plans



WALL SECTION
1/2" = 1'-0"

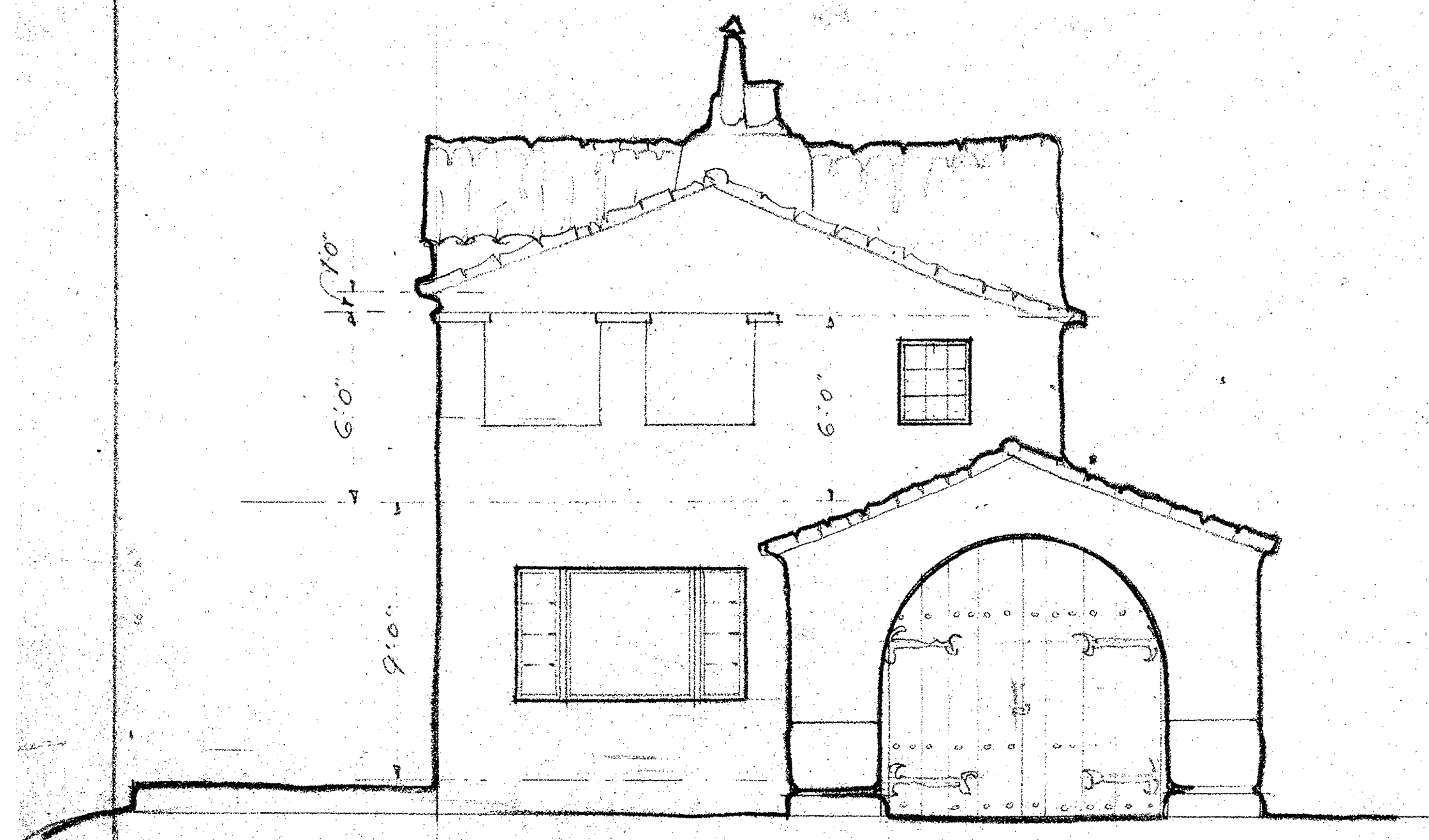


1ST FLOOR PLAN
1/4" = 1'-0"

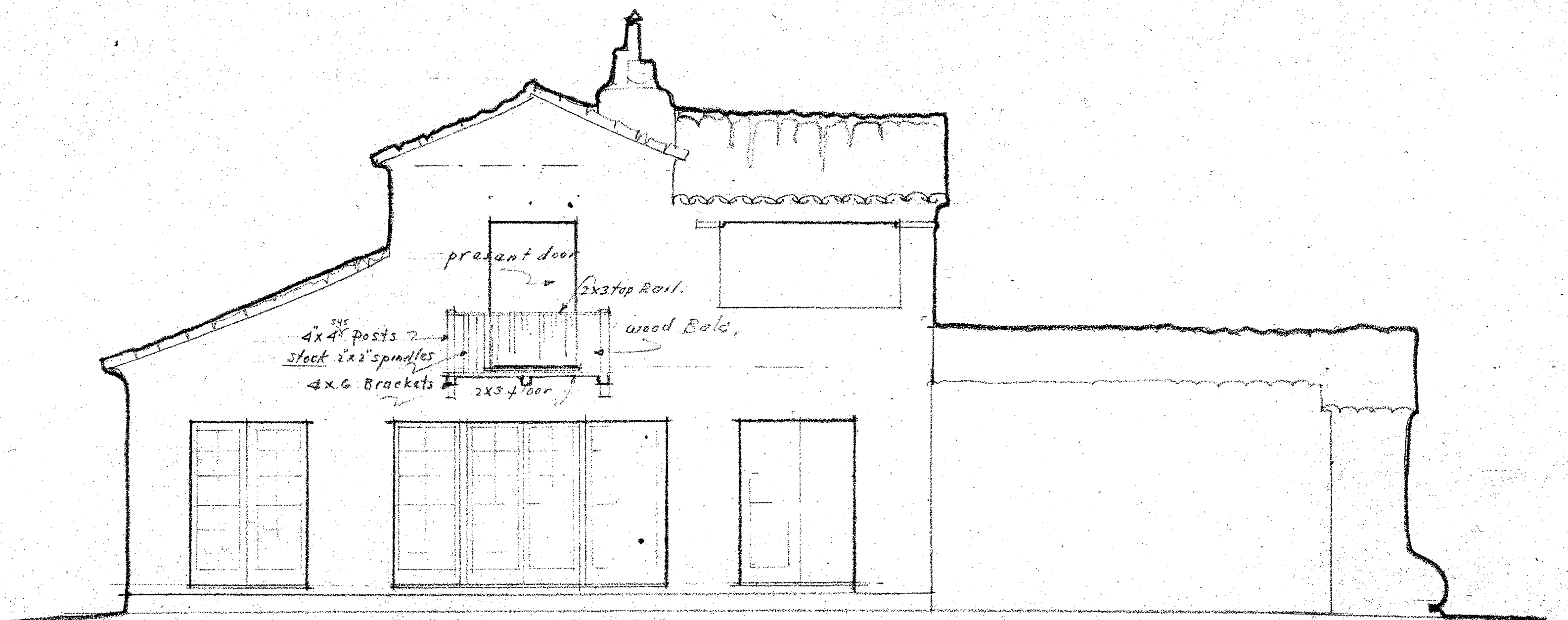


PLOT PLAN
1/8" = 1'-0"

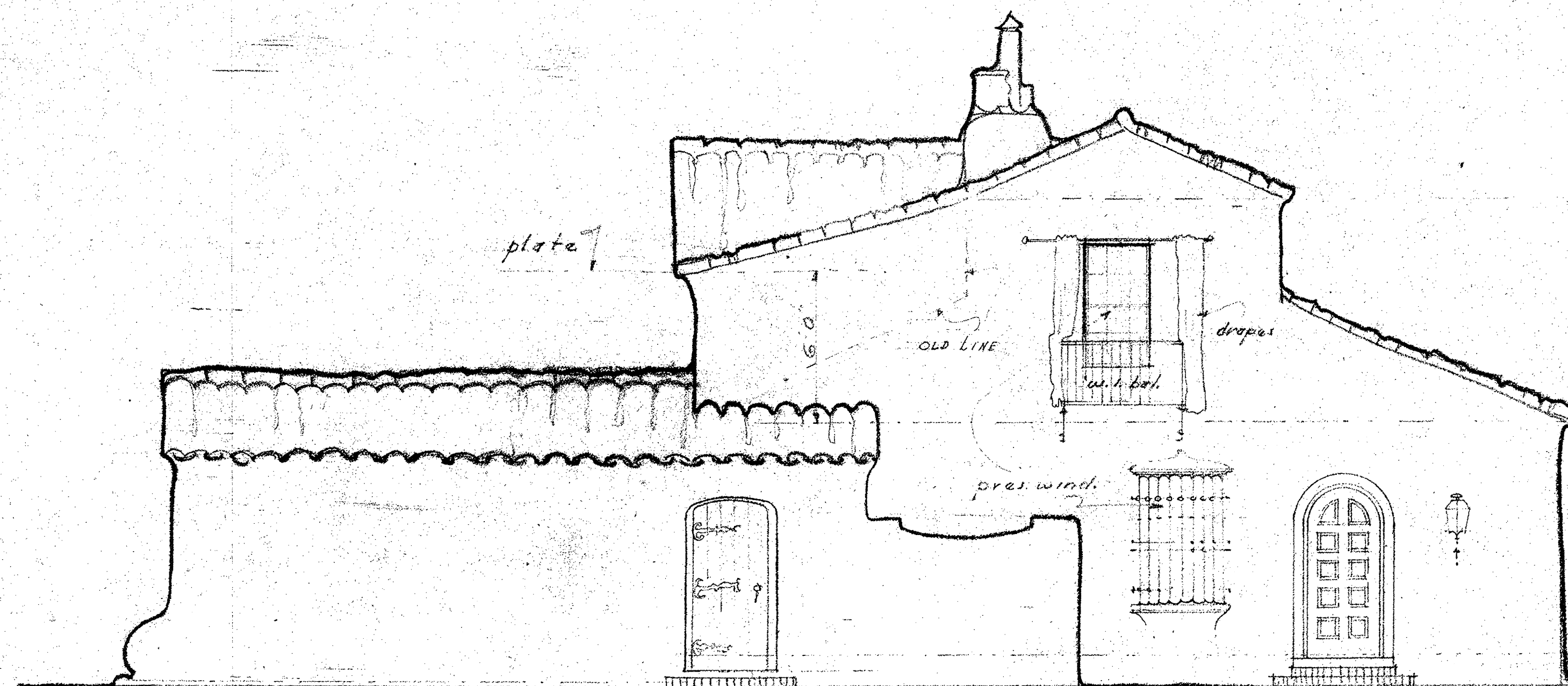
PLOT & FLOOR PLAN		JOB
ALTERATION TO HOUSE		SHEET NO.
MD. J. A. ANDREW		1
DR.	CK.	SEWARD, PLUNKETT & HOWELL
REV.		ARCHITECTS & ENGINEERS
		SANTA BARBARA, CALIF.
OWNER		VERIFY ALL MEASUREMENTS AT THE BUILDING



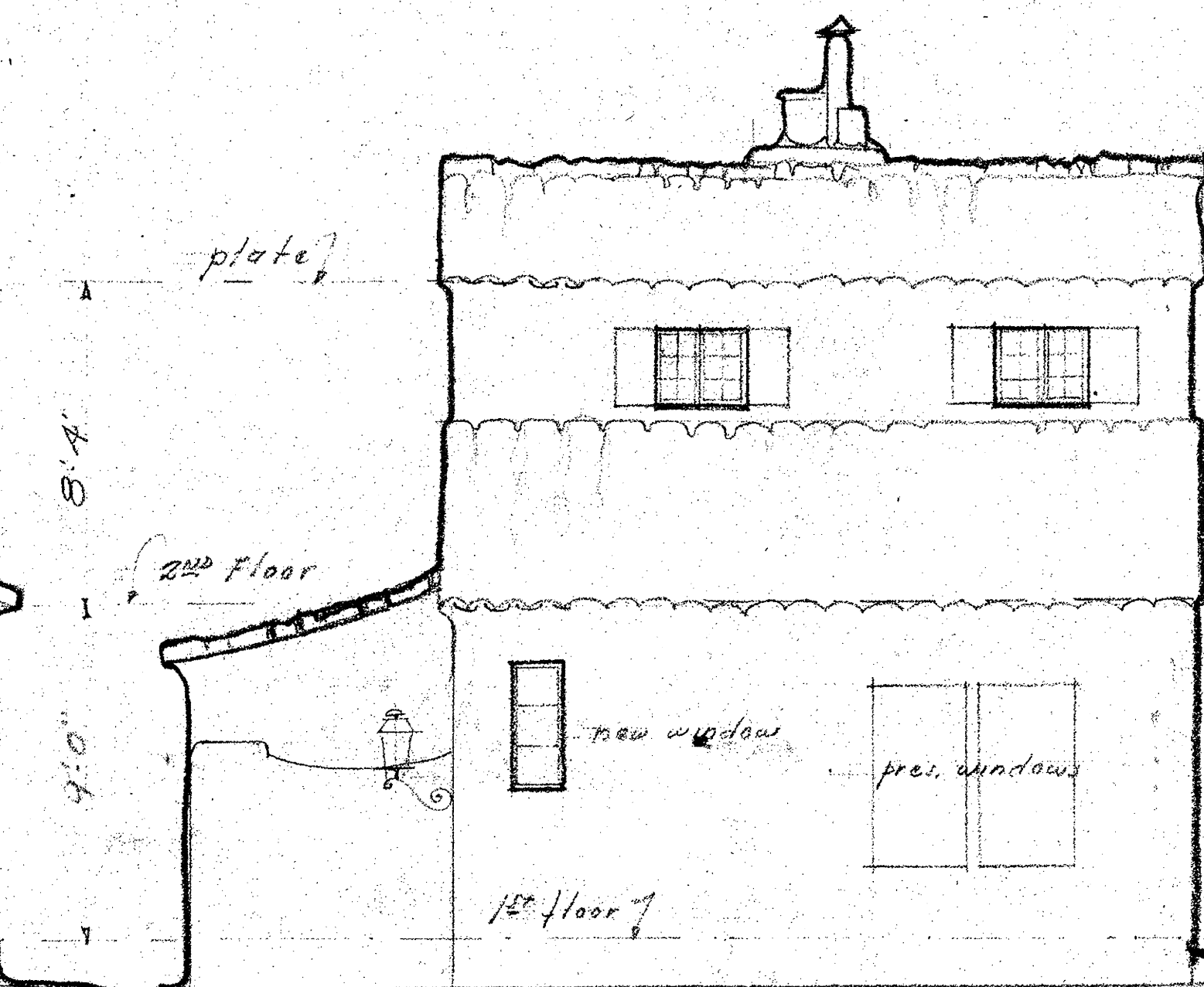
EAST ELEV.
1/4" = 1'-0"



REAR ELEV.
1/4" = 1'-0"



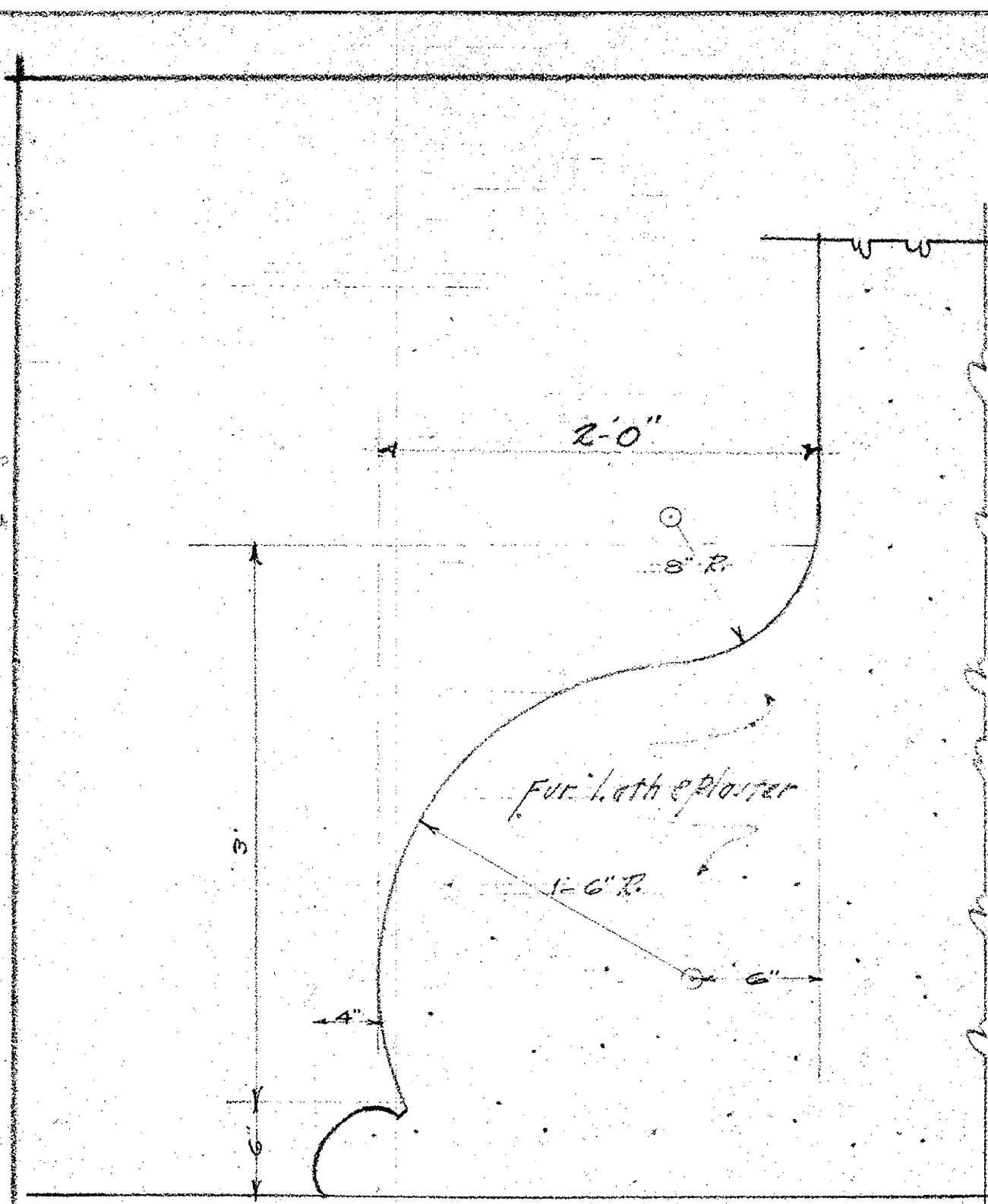
FRONT ELEVATION
1/4" = 1'-0"



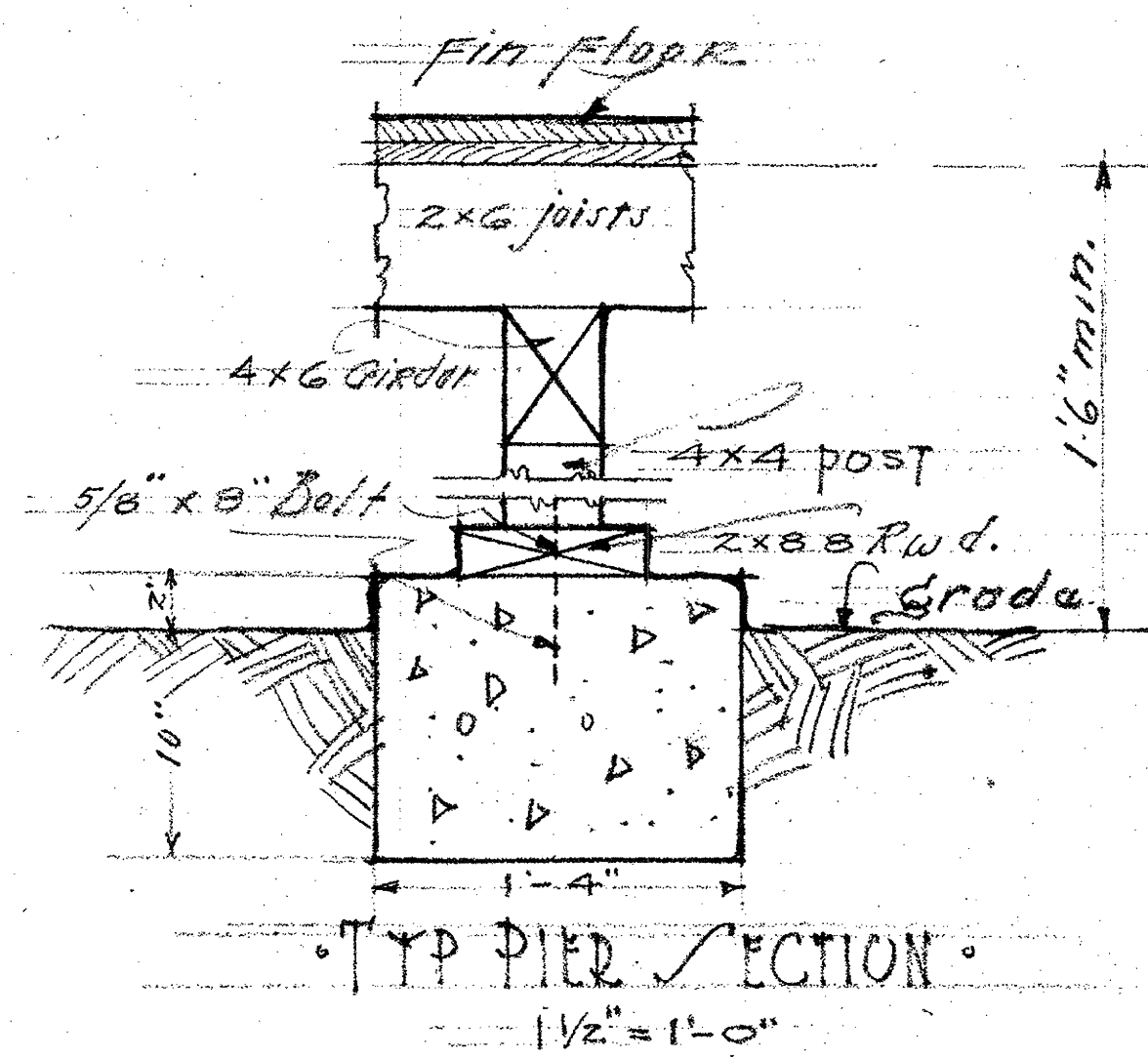
WEST ELEV.
1/4" = 1'-0"

Approved _____
OWNER

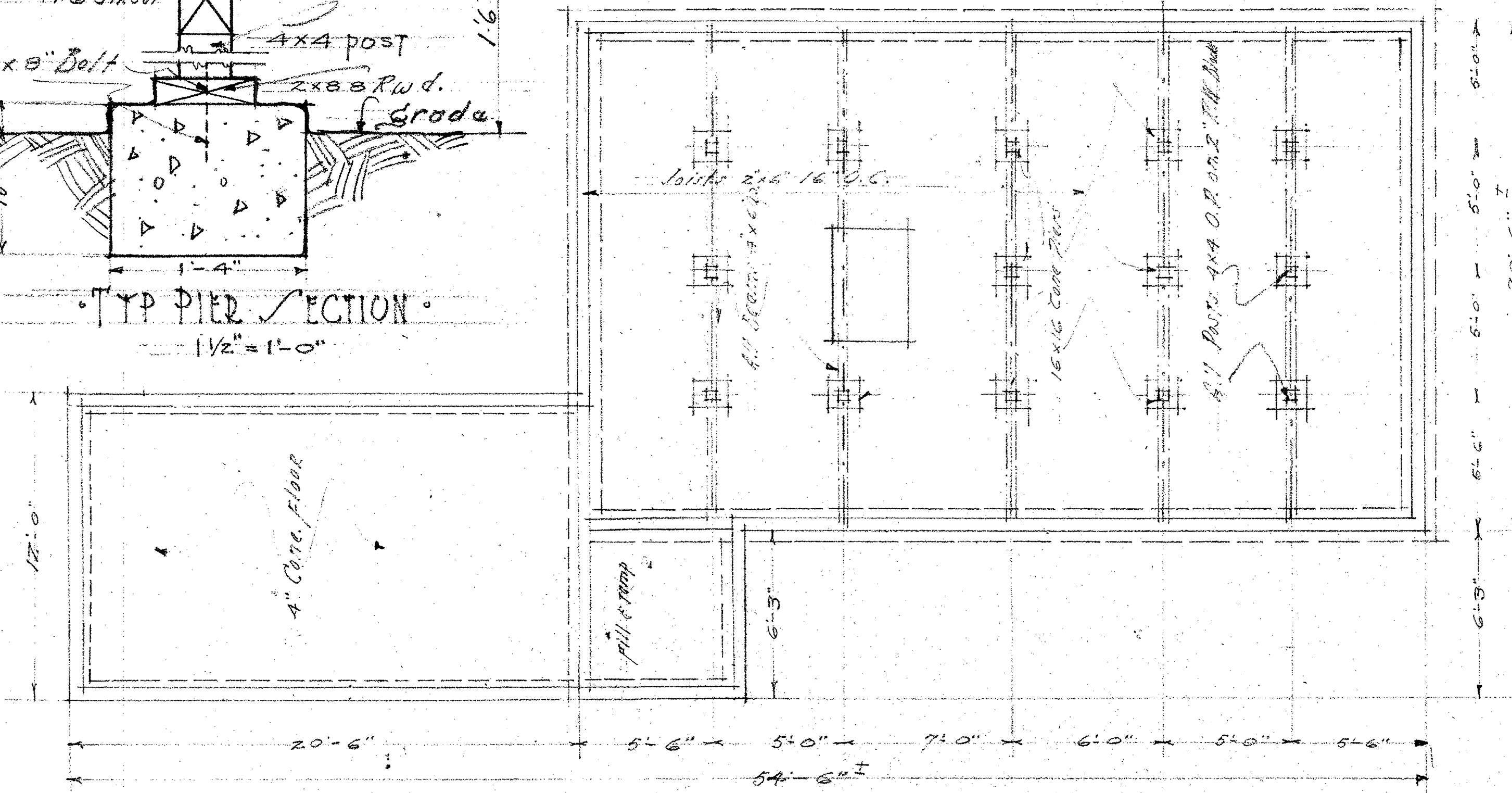
ELEVATIONS			
ALTERATION TO HOUSE			
MR. J. A. ANDREW			
DR. P.	FIG. P.	EDWARDS, PLUNKETT & HOWELL	JOB NO. SHEET NO.
TR. P.	OK. P.	ARCHITECTS & ENGINEERS	
REV.		SANTA BARBARA, CALIF.	
VERIFY ALL MEASUREMENTS AT THE BUILDING			



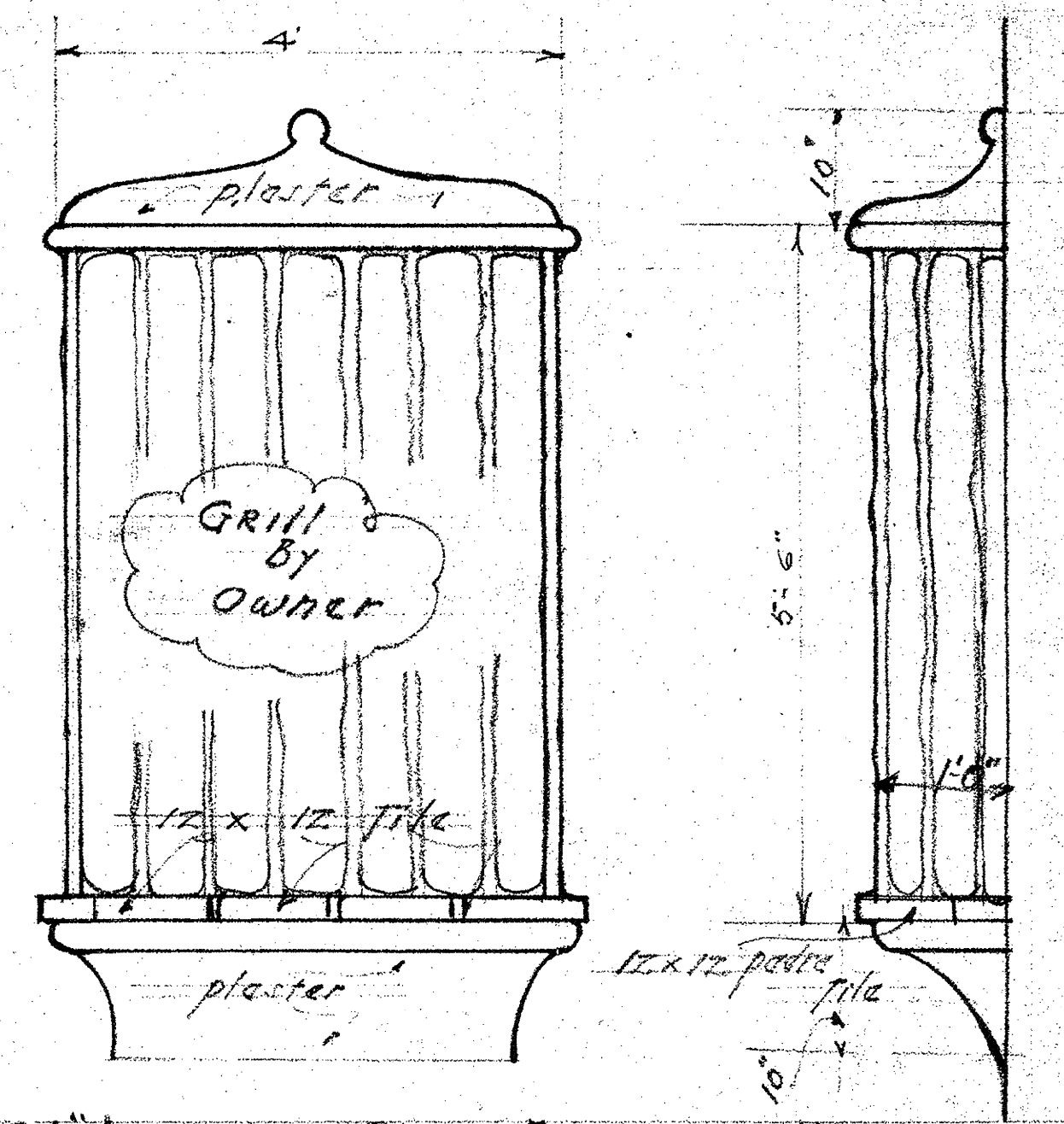
• 1 1/2" DETAIL OF BUMPER •
• AT GARAGE DOORS •



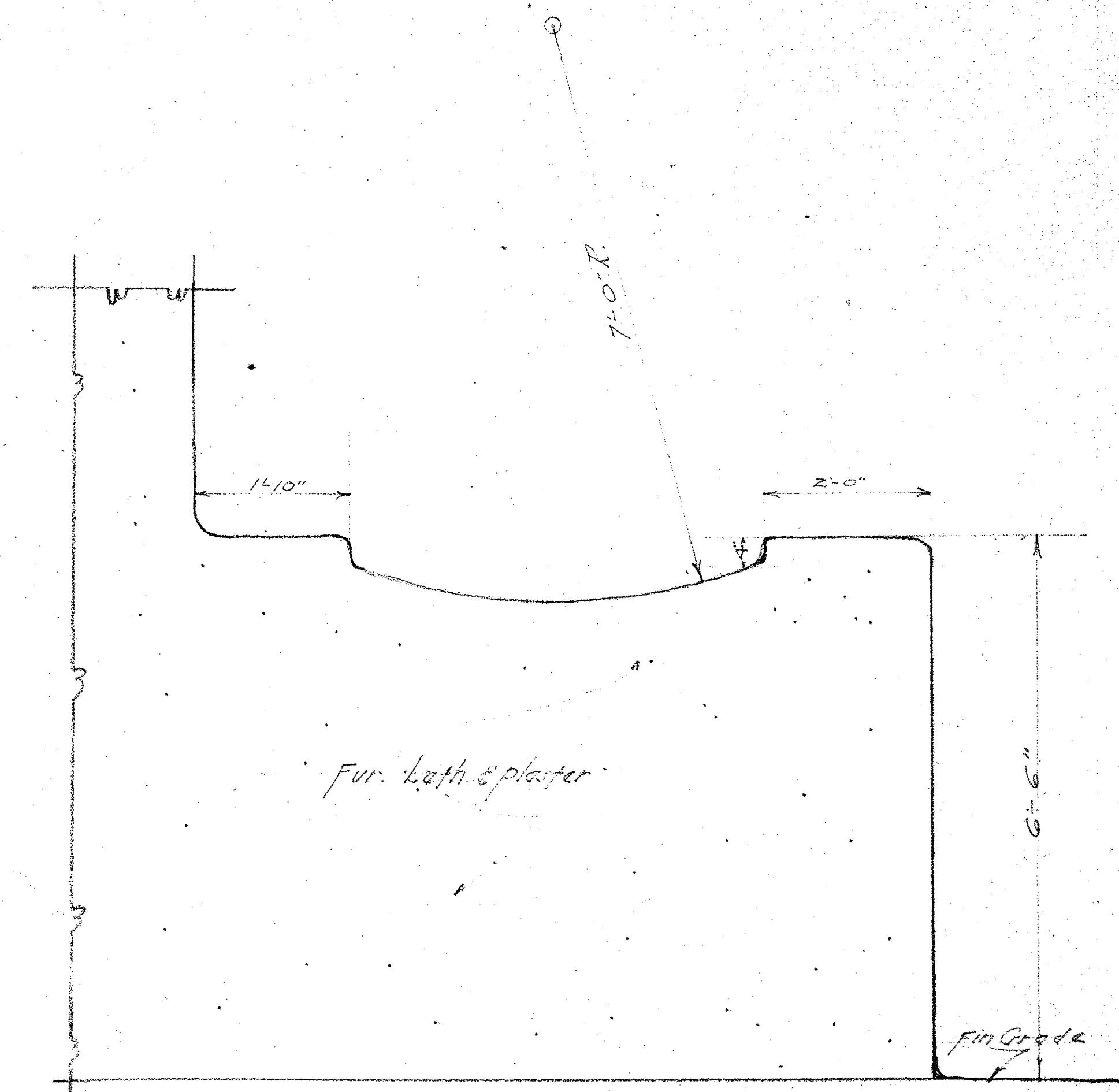
• TYP PIER SECTION •
• 1/2" = 1'-0" •



• FOUNDATION PLAN •
• Scale 1/4" = 1'-0" •



• 3/4" DETAIL OF GRILL FRAME ON FRONT •



• 3/4" DETAIL OF WALL AROUND SERVICE YARD •

Approved _____ OWNER		FOUNDATION PLAN & DETAILS ALTERATIONS TO HOUSE FOR MR. J. A. ANDREW EDWARDS, PLUNKETT & HORELL ARCHITECTS & ENGINEERS SAN FRANCISCO, CALIF.	JOB SHEET NO. 3
VERIFY ALL MEASUREMENTS AT THE BUILDING			